



BURLINGTON PLANNING AND ZONING COMMISSION

October 22, 2018 - 7:00 p.m.

Council Chamber, Burlington Municipal Building

CITY MEMBERS:

Richard Parker, Chairman
John Black, Vice-Chairman
Ryan Kirk
James Kirkpatrick
Nicole Enoch
Nancy Rosborough (Alternate)
Matthew Dobson (Alternate)

EXTRATERRITORIAL MEMBERS:

Earl Jagers
Bill Abplanalp

A G E N D A

ITEM NO. 1:

Call meeting to order.

ITEM NO. 2:

Approval of the minutes of the meeting held September 24, 2018.

ITEM NO. 3:

Mr. John Plageman to present an application to rezone from R-15 Residential District to CR-Conditional Residential for the use of a four unit apartment building. The property is located at 511 West Davis Street, referenced as Alamance County tax identification number 126662.

ITEM NO. 4:

Mr. James LaPann to present an application to rezone from I-2 Light Industrial District to CI Conditional Industrial District for the use of a 150 foot Telecommunication Tower. The property is located at 1425 Brittney Lane, referenced as and being a portion of Guilford County parcel identification number 8834829348.



**MINUTES OF THE BURLINGTON PLANNING
AND ZONING COMMISSION MEETING**

September 24, 2018 – 7:00 pm

Council Chamber, Burlington Municipal Building

CITY MEMBERS:

Richard Parker, Chairman
John Black, Vice-Chairman
James Kirkpatrick
Nicole Enoch
Nancy Rosborough (Alternate)

EXTRATERRITORIAL MEMBERS:

Earl Jagers
Bill Abplanalp

STAFF PRESENT:

Amy Nelson, Planning Director
Joey Lea, Zoning Administrator
Kelly Peele, Commission Secretary

ITEM NO. 1: Chairman Mr. Richard Parker called the meeting to order at 7:00 p.m.

ITEM NO. 2:

Approval of the minutes of the meeting held August 27, 2018.

Commission Member Mr. Earl Jagers made a motion to approve the minutes as presented.

Commission Member Ms. Nicole Enoch second.

Motion passed unanimously.

ITEM NO. 3:

Mr. Frank Longest to present an application to rezone from R-15 Residential District to CR-Conditional Residential District to allow for the construction of a new Health Care Facility for Twin Lakes Continuing Care Retirement Community. The properties are located on the north side of South Church Street approximately 1000 feet from University Drive, referenced as Alamance County tax identification number 106888 and 106943.

Mr. Frank Longest stated, I am an attorney here in Burlington, North Carolina. I practice with Holt, Longest, Wall, Blaetz & Moseley. We are proud to represent Twin Lakes. The application we had submitted in April was amended and the reason for that was that Twin Lakes had originally purchased a property on South Church Street, known as the Williams property. Then a lot, known as the Massey property,

became available. That is property that has had the horse statue out front for years. The request for the Williams and Massey property is get these rezoned from R-15 to the same as Twin Lakes being CCRC. Hopefully we can portray that this conditional zoning would be a good thing and that we can encourage you to give your recommendation to the City Council. The original conditions that we had submitted back in April had been expanded twice. The situation in regard to the properties is that these are both pretty large tracts. The Twin Lakes application was amended in April and has been subsequently amended as of September. As part of the September submission to you all, there is a concept plan that is part of the submission. Look at the conditions and the plan and then tie them together. The situation in regard to the purpose, is to construct a 104 bed healthcare facility. The facility is going to be on the two lots that we would like to have rezoned. The project of the healthcare center is not going to contribute to the traffic on South Church Street. The traffic is all internal. As we know, NCDOT plans on widening South Church Street. We are submitting this application to you on the basis of the information that we know now. I will restate a couple of the conditions. Any encroachment from NCDOT for utility work on University Dr. or US 70 is still applicable. Also need to mention the NCDOT permits for Christmas Lane.

Chairman Mr. Richard Parker asked, where is Christmas Lane?

Zoning Administrator Mr. Joey Lea stated, I do not have the image for this up here, but this area is on the other side of University and it is going to be the access to the maintenance facility.

Mr. Frank Longest stated, the reason I mention this is because all of this is one big package.

Chairman Mr. Richard Parker asked, but it doesn't have anything to do with this?

Mr. Frank Longest stated, not directly.

Zoning Administrator Mr. Joey Lea stated, this is a conceptual plan for this part of the development but also includes the entire development.

Mr. Frank Longest stated, we would also want to put in water and sewer lines as necessary. Also put in erosion control. The only thing that we do not want to do is what is stated in the old conditions which says "dedicated right of way is necessary". Well that is not at University Drive, it is down at Church Street and that was all about the Sheetz portion of development. Over in the area closer to the Food Lion, we are working, hopefully with NCDOT, and we understand that there may be funds there to reimburse us for those items. So we do not want to commit ourselves to something and not get anything back. With me today I have various members on the project. I would also like to reserve some time at the end, I would like to thank Joey Lea and Nolan Kirkman for helping us. This is has been a complicated situation and they have been most helpful in bringing all of this together.

Chairman Mr. Richard Parker asked, is this replacing the existing healthcare facility or is this an addition?

Mr. Frank Longest stated, it will ultimately replace.

Chairman Mr. Richard Parker asked, how many beds? 104? So they will build these beds and then tear down the other?

Mr. Frank Longest stated, yes it is 104 beds. Yes that is what we are planning on doing. It is a brand new facility.

Chairman Mr. Richard Parker asked, so the width of Church Street through here is what the DOT is going to do? Is this going to be four to five lanes?

Mr. Frank Longest stated, it may be four lanes and it may even include a multi-use path.

Commission Member Ms. Nancy Rosborough asked, you mentioned a reimbursable DOT fund. Can you explain that?

Mr. Frank Longest stated, I cannot explain it in too much detail because it is a situation where it is a work in progress. NCDOT recently had a public hearing, it is partly relating to the South Church Street improvements. They have indicated that they will have a pile of money that they will be putting into this project. That money can be used to reimburse the right of ways.

Commission Member Ms. Nancy Rosborough asked, will that reimbursement impact the design?

Mr. Frank Longest stated, that is something Ms. Owens can speak about.

Commission Member Mr. Nancy Rosborough asked, Mr. Chairman, our job here is to say whether or not we are going to recommend approval of the rezoning? But we are not clear on what the actual design will look like at this point because it may change based on at least one factor.

Chairman Mr. Richard Parker stated, yes. Things could change for the design, but the overall concept is what we are approving.

Commission Member Mr. Nancy Rosborough asked, a follow up question to that, in IT you have different models; you have conceptual, logical, and a physical model. The conceptual is what you want, the logical what makes sense, and the physical is what you can actually do. So the rezoning recommendation at this point is for the conceptual model. It may or may not be what is actually implemented down the road.

Zoning Administrator Mr. Joey Lea stated, the properties that you see along South Church Street are rezoned to conditional residential. This was done back in 2013. This area is in our jurisdiction; north of that is in Elon. That portion along South Church Street was approved conceptually. The particular use for a healthcare facility was included in the original rezoning. So what you are being asked to do it to rezone these two parcel to conditional residential which then will be included in all of these properties with the existing conditions. The plan that you have before you is conceptual in nature because of what Mr. Longest stated with things regarding the

DOT. The facility itself could change to some degree, but if that were to happen they would have to come back to TRC for an approval of that. What you all are deciding is whether or not to rezone that area.

Commission Member Mr. John Black asked, the R-15 to the right of the second lot, isn't that a church there?

Mr. Frank Longest stated, yes that is a church.

Commission Member Mr. John Black asked, has anyone from the church or in that area voiced an opinion on this matter?

Zoning Administrator Mr. Joey Lea stated, I had received one phone call and that was from a business owner to the east. They had called to inquire about it and in turn they were okay with the fact.

Chairman Mr. Richard Parker asked, does the staff have a recommendation?

Zoning Administrator Mr. Joey Lea stated, our recommendation is to approve the rezoning request with the conditions. What we are going to do with the condition that he has proposed; one of the use conditions that was previously approved will be added back to this. We do not want any confusion in thinking that this was only rezoned to allow the health care facility. The use conditions that included other structures will be back into the conditions apart of the ordinance. The conditions before you are a part of the original conditions. So with the conditions attached for the proposed development, staff recommends approval.

Commission Member Mr. Earl Jagers asked, which conditions here are we actually changings? I do not want to get into the weeds here.

Zoning Administrator Mr. Joey Lea stated, In your package are the original conditions. Now, under the development conditions, Mr. Longest may have incorporated those into the new condition. It is the use conditions that will be reincorporated back into this so that we can make sure that those stay intact.

Commission Member Ms. Nicole Enoch stated, I move we recommend approval for this request based upon consistency with the Comprehensive Plan. The action is reasonable and in the public interest in that the amendment is compatible with the existing land uses in the area.

Commission Member Mr. John Black second.

Motion passed unanimously.

ITEM NO. 4:

Staff to present a proposed amendment to the City of Burlington Zoning Ordinance sections 32.9 Table of Permitted Uses, section 32.11 Off Street Parking and Loading and adding section 32.10.VV for Electronic Gaming Operations.

Zoning Administrator Mr. Joey Lea stated, Mr. Chairman, just so that we do not have a confusion as to procedure, if you let us go through all of the different sections and then if you need to address any one of them we will address them at that time; then when you all vote you all will be voting at one time for all of the sections.

Planning Director Mrs. Amy Nelson stated, this is an attempt to regulate the electronic gaming facilities that are in our community. It has been a difficult thing to do in our community over the years. The very first section you have, section 32.9, is to give them a location where they can go. In this case we are trying to tie them in to our UDO which has them considered as conditional business. That is why we are trying to move them to conditional business. That means that they would come to you first and then they would go to city council. We have to allow them to go somewhere. They have to be able to locate somewhere in order for us to avoid a lawsuit. We are trying to restrict where they are allowed to go.

Commission Member Bill Abplanalp stated, I thought that the Chief of Police has issued a cease and desist order earlier this week.

Planning Director Mrs. Amy Nelson stated, yes he did.

Chairman Mr. Richard Parker asked, is there not a state law against this?

Zoning Administrator Mr. Joey Lea stated, there are questions regarding legality because there are parameters in which they can operate. If they operate within the state's law, this ordinance gives them a place to go.

Planning Director Mrs. Amy Nelson stated, this is not to govern anything that is illegal. This ordinance is a way to deal with these electronic gaming operations as-is. We have met with the city attorney as well as the attorney with the UDO and have made tweaks to this ordinance based on their recommendations. Moving to section 32.10, we are adding the actual definition of an electronic gaming operation. Utilizing ordinances from across the state we have worked to cover as much as possible. We looked at separation requirements and we are trying to ensure safety.

Chairman Mr. Richard Parker asked, is there a place in town, right now, that complies with this?

Planning Director Mrs. Amy Nelson stated, it would be conditional business, so they would have to rezone to this.

Chairman Mr. Richard Parker asked, so nothing out there now has the right zoning?

Planning Director Mrs. Amy Nelson stated, correct.

Chairman Mr. Richard Parker asked, so the one on Church Street, near the Exxon station, if we were to pass this then they would be not in compliance within 6 months. So they would come here and ask for conditional zoning. If council votes against the rezoning, then we, in turn, would be zoning them out of business?

Planning Director Mrs. Amy Nelson stated, we are not trying to zone anyone out of business. Legally, they have to be allowed to go somewhere. We are giving them that avenue to go somewhere. They just have to make their case.

Commission Member Ms. Nicole Enoch asked, if we recommend that it goes to council and they approve this item, would this ordinance be in effect immediately?

Planning Director Mrs. Amy Nelson stated, they would have six months for them to come into compliance.

Planning Director Mrs. Amy Nelson stated, for parking, we are stating that they must have one parking space for every 200 sq. ft. area.

Commission Member Ms. Nicole Enoch stated, I move we recommend approval for this request based upon consistency with the Comprehensive Plan. The action is reasonable and in the public interest in that the amendment is compatible with the existing land uses in the area.

Commission Member Mr. James Kirkpatrick second.

The motion passed 6-1.

Commission Member Mr. Earl Jagers voted against the motion.

Richard Parker, Chairman

John Black, Vice Chairman

Kelly Peele, Secretary



City of Burlington Zoning Staff Report Item #3

Applicant: Kehinde Olajide

Location: 511 West Davis Street

PIN: 126662

Area: Approximately .31 acres

Current Zoning: R-15 Residential District

Proposed Zoning: CR Conditional Residential

Current Land Use: Vacant commercial building (Formerly Red Cross)

Proposed Land Use: Converting existing commercial building into a four unit apartment building

Adjacent Property Conditions:

Location	Zoning	Land Use	Land Use Plan
North	Residential	Single Family / Multi Family	Traditional Residential
South	Residential & CO-I	Single Family / Multi Family / Church	Traditional Residential / Mixed Use
East	Residential	Single Family	Traditional Residential
West	Residential	Single Family	Traditional Residential

Comprehensive Plan Consistency:

The Comprehensive Plan calls for the area to be Traditional Residential, which is primarily single family residential and two-family/duplex development as well as multi-family development. The request is consistent with the Comprehensive Plan.

Staff Recommendation

The existing structure was the office of the American Red Cross for many years. The building and use were non-conforming because of the property being zoned R-15 Residential. In chapter 6 of the Code Assessment it speaks of “Adaptive Reuse”, which means remodeling or conversion of an existing obsolete building for a new, more productive purpose. Adaptive reuse projects tend to require extensive construction and upgrading of existing structures, but the reward is functional and attractive spaces that enhance the cultural, historic, and economic character of an area.

This use is compatible with the uses already existing in the area.

Staff recommends approval of the rezoning request.

City of Burlington
Zoning & Parcel
Information System



City of Burlington
GIS Division

Last Update:
June 02, 2009

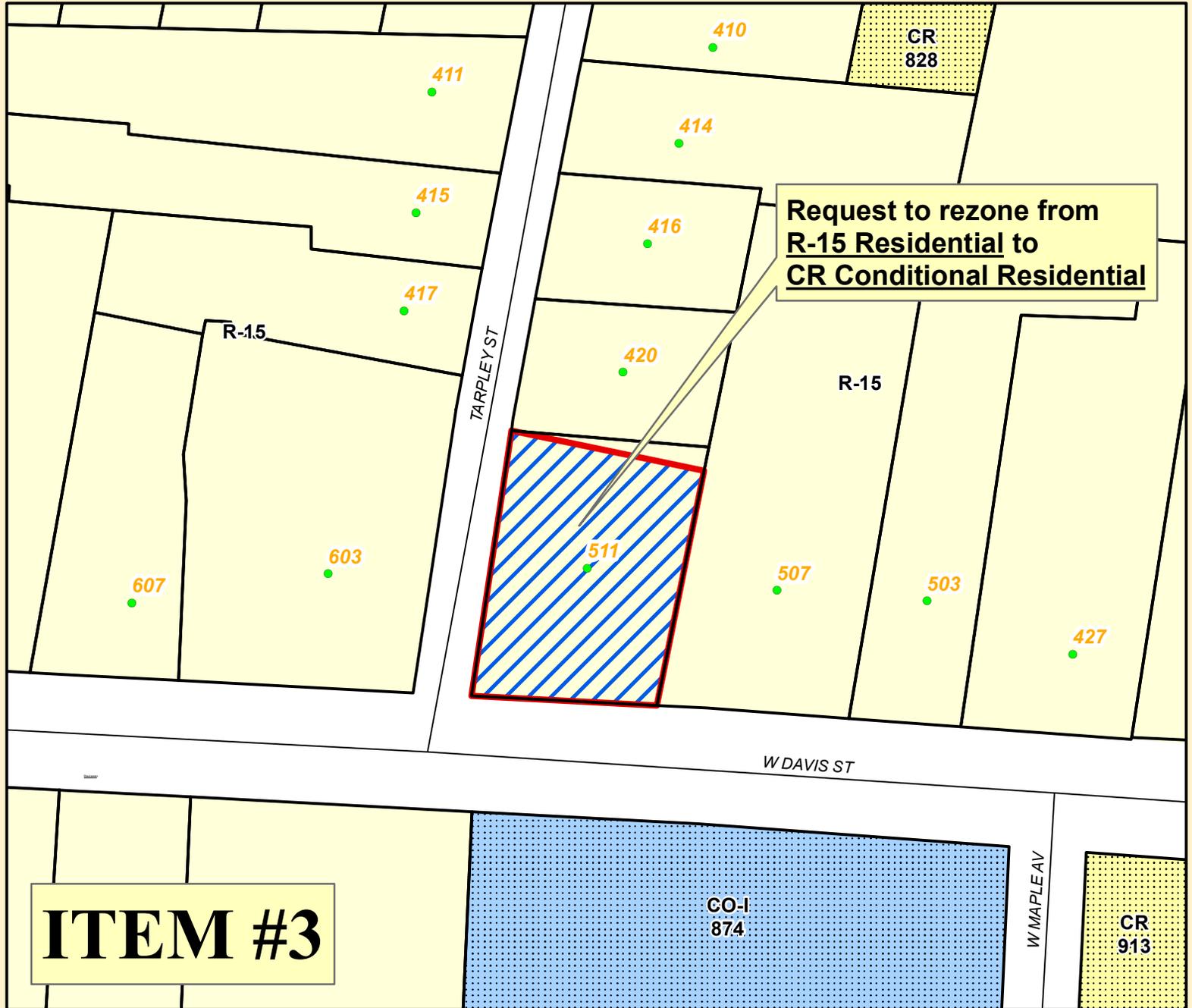
Legend

Zoning

	B-1		I-3
	B-2		MF-A
	B-3		MF-B
	CB		O-I
	CI		RO-I
	CMX-C		CPEC
	CMX-R		R-6
	CO-I		R-9
	CR		R-12
	I-1		R-15
	I-1A		R-30
	I-2		R-M



1 inch = 75 feet



ITEM #3

Disclaimer:
This map was compiled from the GIS resources of the Burlington Regional GIS Partnership for public planning and agency support purposes. These resources include public information sources of different scale, time, origin, definition and accuracy, which aspects produce inconsistencies among features represented together on this map. Neither the City of Burlington nor the Partnership shall be held liable for any errors in this map or supporting data. Primary public information sources from which this map was compiled, in conjunction with field surveys where required, must be consulted for the verification of the information contained within this map.

CITY OF BURLINGTON PLANNING DEPARTMENT



Date Submitted 06/25/18 Fee/Receipt No. 1

Provide the required information as indicated below. Pursuant to the City of Burlington Zoning Ordinance, this application will not be processed until application fees are paid, the form below is completed and signed and all required maps and plans and documents have been submitted to the satisfaction of the Planning Department. Additional sheets for tax references, signatures and use and development conditions are attached.

Pursuant to Section 32.19 of the City of Burlington Zoning Ordinance, the undersigned hereby requests the City of Burlington to rezone the property listed below from conditional office zoning district to conditional multi-family zoning district for the following purpose: convert to MultiFamily 4 unit building

Said property is located 511 West Davis Street, Burlington
NC, 27215

Being a total of 0.31 acres and further referenced on Alamance County or Guilford County Tax Maps as follows: (Additional space on Page 5)

Tax Map 22-79-109 (TaxID); 8865942189 (CPIN); 126662 (Parcel ID/No)
Tax Map _____
Tax Map _____
Tax Map _____

Check one:

- The property requested for rezoning is an entire parcel or parcels as shown on the Alamance or Guilford County Tax Map.
- The property requested for rezoning is a portion of a parcel or parcels as shown on the Alamance or Guilford County Tax Map and a written legal description of the property and a map are attached.

Check one:

- Public services (i.e., water and sewer) are not requested or required.
- Public services (i.e., water and sewer) are requested or required.

Conditional rezoning requirements:

- Zoning Sketch Plan. A sketch plan illustrating proposed conditions and other pertinent information is required for all conditional rezoning requests. Sketch elements not illustrating proposed conditions are subject to subdivision and site plan review. Refer to Section 32.19 of the City of Burlington Zoning Ordinance for conditional rezoning requirements.
- Zoning Conditions. Use and/or development conditions must be provided. Complete Part II of this application. Refer to uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance.

CITY OF BURLINGTON PLANNING DEPARTMENT



USE CONDITIONS: Uses of the property shall be limited to the following uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) Multi-Family 4 unit Building.
- 2) _____
- 3) _____
- 4) _____

DEVELOPMENT CONDITIONS: Development of the property shall occur in accordance with the following standards and requirements in addition to those specified in the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) 18' DEEP PARKING SPACES @ 45° AND 12' DRIVE AISLE (ONE WAY) (SEE SITE PLAN.)
- 2) PAVEMENT @ NORTH PARKING LOT IS 1'-4" AWAY FROM TREE SAVE AREA AT THE CLOSEST.
- 3) BASED ON SITE ANALYSIS, w/ WHEELSTOPS INSTALLED, NO CAR WILL OVERLAP INTO TREE SAVE AREA. A FENCE IS ALSO BEING INSTALLED ALONG THIS NORTH LINE OF THE PROPERTY.

(Additional signature space on Page 5)

Kelvin Stajic
Property Owner's Signature

Kelvin Stajic
Property Owner's Name Printed

KTD Investment Properties
Name of Firm (if applicable)

PO. Box 4242
Mailing Address

Cary, NC 27519
City, State and Zip Code

919-452-7300
Area Code and Daytime Telephone Number

John P. Plageman
Representative's Signature (if applicable)

John P. Plageman
Representative's Name Printed

PLAGEMAN Architecture
Name of Firm (if applicable)

408 S. Spring ST
Mailing Address

Burlington, NC 27215
City, State and Zip Code

336-226-3933 x101
Area Code and Daytime Telephone Number

October 18, 2018

Planning and Zoning Department
425 South Lexington Avenue
Burlington, NC 27215

RE: 511 West Davis Street Reuse – Development Conditions Supplement

Dear Mr. Lea,

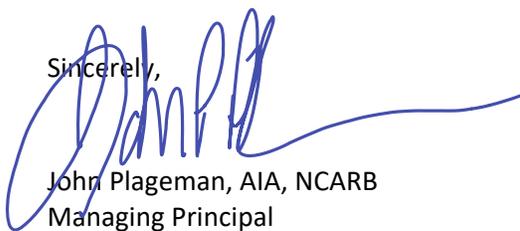
Please accept this letter as a supplement to the development conditions that was submitted in the TRC application this week.

DEVELOPMENT CONDITIONS:

- 1) 18' deep parking stalls to be built at a 45 degree angle along a one way driveway of 12' width.
- 2) Pavement to the north (parking lot) is 1'-4" from tree save area (triangular piece of property overlap) at its closest position.
- 3) No vehicle shall overlap or encroach into the tree save area. Please note as shown on the site plan that the intent of this developer is to install a fence along the tree save area to help prevent any encroachment.
- 4) Development will require a Certificate of Appropriateness (COA) from the Burlington Historic Preservation Commission prior to any work being done. Development will meet all requirements of the Historic District.

Thank you for allowing me to clarify the development conditions as they were stated in the original application.

Sincerely,



John Plageman, AIA, NCARB
Managing Principal

October 18, 2018

Planning and Zoning Department
425 South Lexington Avenue
Burlington, NC 27215

RE: 511 West Davis Street Reuse – Kehinde Olajide owner

Dear Mr. Lea,

Our project at 511 West Davis Street is seeking conditional rezoning from R-15 to allow for a quad-plex on the site. The project will leave the existing historic building intact, making minor exterior improvements with approval from the Historic Preservation Commission. We understand that a Certificate of Appropriateness will be required from the Historic Commission prior to beginning any work on site.

Interior renovations will allow for the conversion into four apartments with three, two-bedroom units and one, one-bedroom unit.

Seven parking spaces will be added along the northern and eastern edges of the property to accommodate the units. The parking spaces to the north will be built at a 45 degree angle and will be 18' deep. The drive aisle will be one way directional at a total width of 12'. Both conditions meet the parking standards of the City of Burlington.

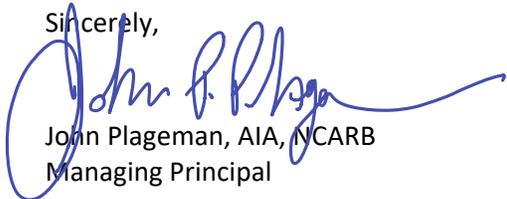
The pavement at the northern edge of the parking lot is 1'-4" away from the triangular tree save area at its closest. Based on site plan analysis, with the planned wheel stops installed, no vehicle will overlap into the tree save area.

We believe the best and highest use for this property is a quad-plex, for rent building instead of single-family residence or office space. The reasons are: A) it is not financially viable to convert the building into a single dwelling unit, B) the downtown MSA is underserved with rental options and C) there is little to no market for the type of office space this building would offer.

It is our understanding that this site has historically served as a commercial building. Our plans are in keeping with this history in that it will remain a commercial building serving four new for rent apartments. The proposed use is compatible with other and similar uses in the MSA.

By creating a one-way drive from W. Davis Street onto Tarpley Street we will achieve minimal traffic impact on either street. Providing ample onsite parking alleviates the need for any street parking, further reducing the impact of the project. Downtown Burlington is steadily adding higher quality for rent properties and this project will ensure the growth and vibrancy of our local community.

Sincerely,



John Plageman, AIA, NCARB
Managing Principal

August 10, 2018

Planning and Zoning Department
425 South Lexington Avenue
Burlington, NC 27215

Dear Mr. Lea,

Our project at 511 W. Davis Street is seeking conditional rezoning from R-15 to allow for a quad-plex use of the site. The project will leave the existing historic building intact, making minor exterior improvements with approval from the Historic Preservation Commission. Interior renovations will allow for the conversion into four apartments with three, two-bedroom units and one, one-bedroom unit. Seven parking spaces will be added along the northern and eastern edges of the property to accommodate the units. We believe the best and highest use for this property is a quad-plex building instead of single family or office space. The reasons are: it is not financially viable to convert the building into a single dwelling unit, the downtown MSA is underserved with rental options and there is little to no market for the type of office space this building would offer. It is our understanding that this site has historically served as a commercial building. Our plans are in keeping with this history in that it will remain a commercial building serving four new for rent apartments. By creating a one-way drive from W. Davis Street onto Tarpley Street we will achieve minimal traffic impact on either street. Providing ample onsite parking alleviates the need for any street parking, further reducing the impact of the project. Downtown Burlington is steadily adding higher quality for rent properties and this project will ensure the growth and vibrancy of our local community.

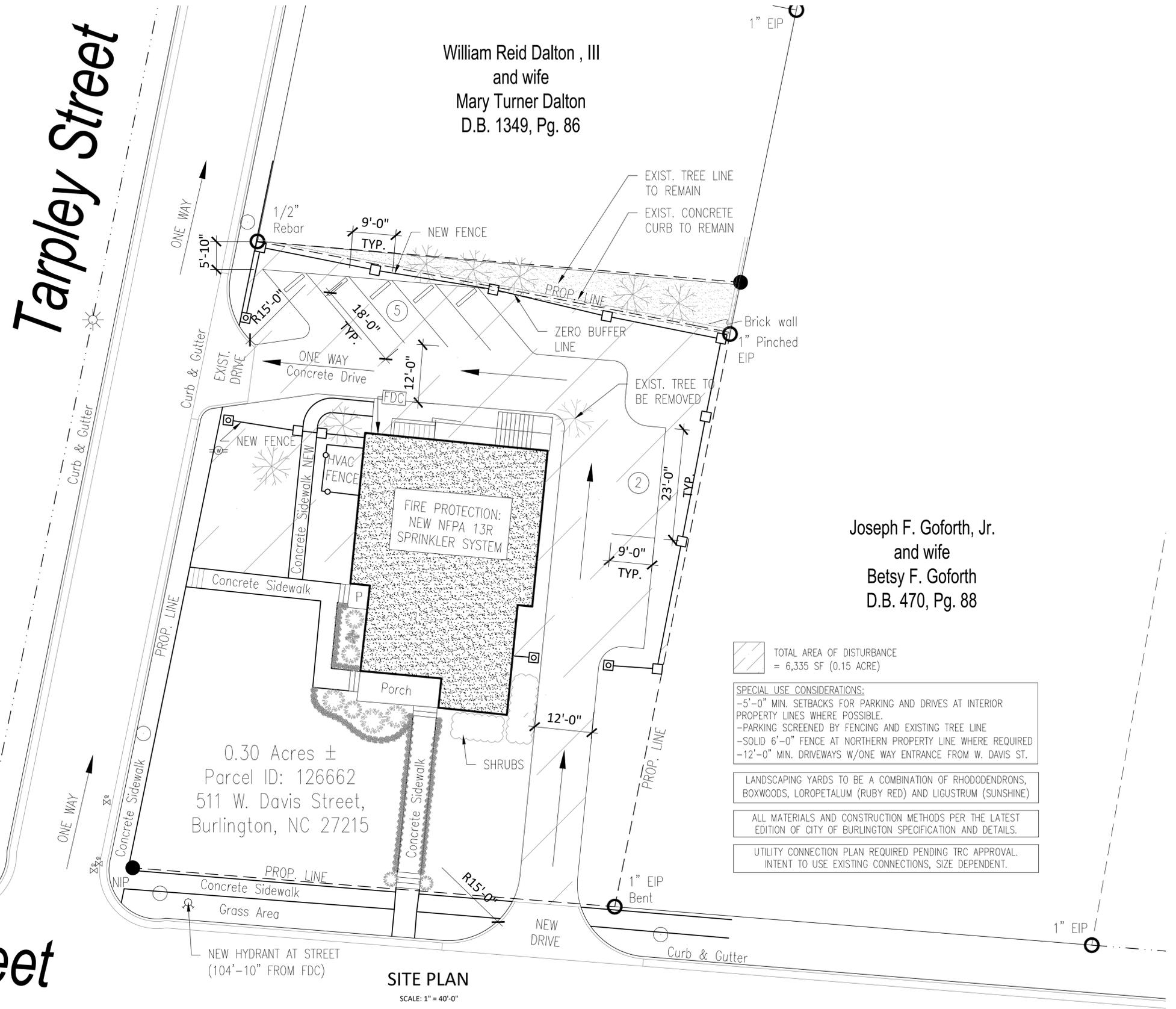
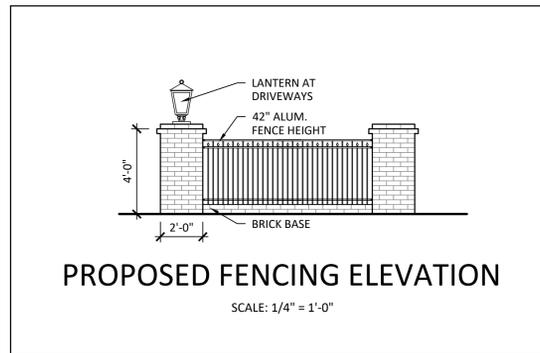
Sincerely,



John Plageman

THE PLAN ASSOCIATED WITH THIS CONDITIONAL ZONING REQUEST IS A CONCEPT PLAN INTENDED FOR ILLUSTRATIVE PURPOSES TO ASSIST CITY COUNCIL IN CONSIDERING THE PROPOSED DEVELOPMENT CONDITIONS. THE APPLICANT WILL PROVIDE A FULLY DETAILED SITE PLAN TO THE TECHNICAL REVIEW COMMITTEE FOR APPROVAL BEFORE A BUILDING PERMIT WILL BE ISSUED. EXCEPT AS STATED HEREIN, THE DEVELOPMENT WILL MEET ALL LOCAL, STATE AND FEDERAL DEVELOPMENT STANDARDS AND REQUIREMENTS. ANY SIGNIFICANT DEVIATIONS FROM THE SKETCH PLAN OR ANY ADDITIONAL CONDITIONS THAT MAY BE NECESSARY AS DETERMINED BY THE TECHNICAL REVIEW COMMITTEE SHALL REQUIRE A RECOMMENDATION FROM THE PLANNING AND ZONING COMMISSION AND APPROVAL FROM THE CITY COUNCIL.

DEVELOPMENT WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS (COA) FROM THE BURLINGTON HISTORIC PRESERVATION COMMISSION PRIOR TO ANY WORK BEING DONE. DEVELOPMENT WILL MEET ALL REQUIREMENTS OF THE HISTORIC DISTRICT.



- TOTAL AREA OF DISTURBANCE = 6,335 SF (0.15 ACRE)
- SPECIAL USE CONSIDERATIONS:**
 - 5'-0" MIN. SETBACKS FOR PARKING AND DRIVES AT INTERIOR PROPERTY LINES WHERE POSSIBLE.
 - PARKING SCREENED BY FENCING AND EXISTING TREE LINE
 - SOLID 6'-0" FENCE AT NORTHERN PROPERTY LINE WHERE REQUIRED
 - 12'-0" MIN. DRIVEWAYS W/ONE WAY ENTRANCE FROM W. DAVIS ST.
- LANDSCAPING YARDS TO BE A COMBINATION OF RHODODENDRONS, BOXWOODS, LOROPETALUM (RUBY RED) AND LIGUSTRUM (SUNSHINE)
- ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF BURLINGTON SPECIFICATION AND DETAILS.
- UTILITY CONNECTION PLAN REQUIRED PENDING TRC APPROVAL. INTENT TO USE EXISTING CONNECTIONS, SIZE DEPENDENT.

SCHEMATIC DRAWINGS
511 W. DAVIS ST APARTMENTS
BURLINGTON, NC 27215

COPYRIGHT 2018 - PLAGEMAN ARCHITECTURE - THESE DRAWINGS ARE INSTRUMENTS OF SERVICE INTENDED FOR THE USE OF THIS PROJECT ONLY. ANY REUSE OR REPRODUCTION FOR ANOTHER PROJECT IS STRICTLY PROHIBITED.

DATE: 10/05/18
PA1819
SHEET 1 OF 1

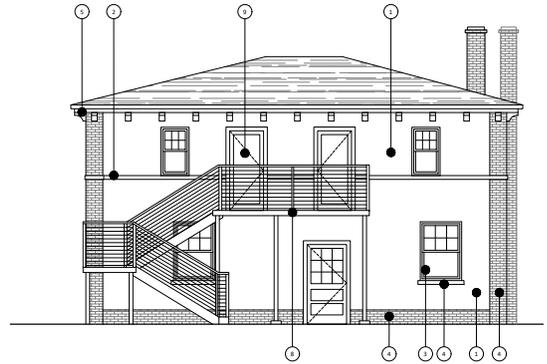


Plageman Architecture
408 S. Spring St.
Burlington, NC 27215
336-226-3933
plagemanarchitecture.com

COLOR SCHEDULE	
	SW-9168 ELEPHANT EAR
	SW-7006 EXTRA WHITE
	SW-6258 TRICORN BLACK

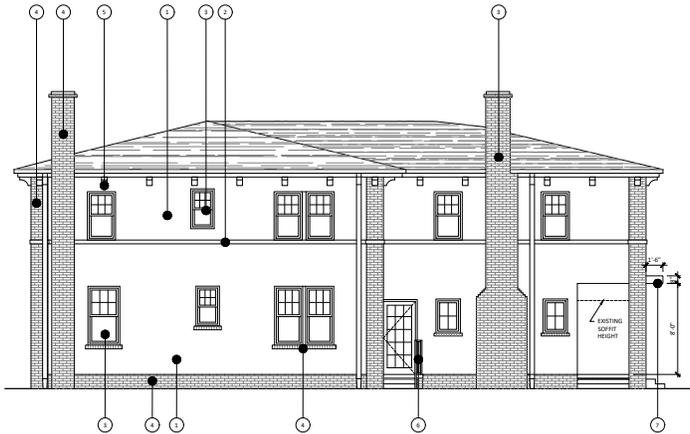
EXTERIOR ELEVATION KEYNOTE LEGEND	
TAG	DESCRIPTION
①	EXISTING STUCCO, PAINTED COLOR #1
②	EXISTING TRIM BANDING, PAINTED COLOR #2
③	EXISTING WINDOWS, TRIM PAINTED COLOR #2
④	ALL EXISTING BRG. TO BE UNPAINTISHED OR WHITEWASHED. INCLUDES CHIMNEYS, COLUMNS, WINDOW SILLS AND BRICKS BENE.
⑤	NEW CORBELS & SLOTTED AT UNDEREOP OF EAVES/SOFFITS, SPACED 4'-0" ON CENTER. PAINTED COLOR #3
⑥	NEW RAILINGS AT EXISTING SIDE ENTRY STEPS, PAINTED COLOR #3
⑦	EXISTING PORCH SLOTTED BASED TO 8'-0" WITH NEW CANOPY EXTENDING 8'-0" OUT ON W. DAVIS ST. ELEVATION, CANOPY PAINTED COLOR #2
⑧	EXISTING SECOND FLOOR ENTRY STAIR/RAILING REFINISHED WITH LARGER FINISHING, PAINTED COLOR #3
⑨	NEW ENTRY DOOR TO SECOND FLOOR ADDED @ REAR ELEVATION, STYLE TO MATCH EXISTING ENTRY DOORS.

NOTE:
 • COLOR 1: SHERWIN WILLIAMS DEER ELEPHANT EAR
 • COLOR 2: SHERWIN WILLIAMS TOOL EXTRA WHITE
 • COLOR 3: SHERWIN WILLIAMS SOLE TRICORN BLACK
 • ALL EXISTING WINDOWS TO REMAIN.
 • ALL EXISTING ENTRY DOORS TO REMAIN.



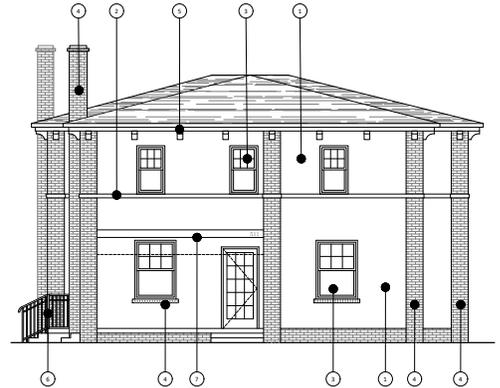
REAR ELEVATION

SCALE: 1/4" = 1'-0"



TARPLEY STREET ELEVATION

SCALE: 1/4" = 1'-0"



W. DAVIS STREET ELEVATION

SCALE: 1/4" = 1'-0"

SCHEMATIC DRAWINGS
 511 W. DAVIS ST APARTMENTS
 BURLINGTON, NC 27215

DATE: 02/04/18
 PA1819



Plegeman Architecture
 4018 S. Sully St.
 Burlington, NC 27215
 336-224-0003
 plegemanarchitecture.com



SCHEMATIC DRAWINGS
511 W. DAVIS ST APARTMENTS
BURLINGTON, NC 27215

DATE: 02/04/18
PA1819



Plageman Architecture
401 S. Squire St.
Burlington, NC 27215
336-254-2800
plagemanarchitecture.com



Highlighted lot (blue diagonal stripes, red border)

CR 828

CR 913

CO-I 874

R-15

R-15

R-15

R-15

R-15

R-9

O-I

O-I

O-I

O-I

O-I

B-2

B-2

B-3

B-3

PEELE ST

TARPLEY ST

BROOKS ST

W FRONT ST

W DAVIS ST

W MAPLE AV

S FISHER ST

S CHURCH ST

R-15 MF-B

R-15

R-15

R-15

R-15

MF-B



W FRONT ST

TARPLEY ST

BROOKS ST

PEELE ST

W DAVIS ST

S FISHER ST

W MAPLE AV

W FIFTH ST

HILLCREST AV



City of Burlington Zoning Staff Report Item #4

Applicant: Verizon Wireless

Location: 1425 Brittney Lane

PIN: A portion of 8834829348

Area: 10,000 Square feet

Current Zoning: I-2 Light Industrial

Proposed Zoning: CI Conditional Industrial

Current Land Use: Industrial

Proposed Land Use: 150 ft. cell tower

Adjacent Property Conditions:

Location	Zoning	Land Use	Land Use Plan
North	Industrial and Residential	Vacant	Suburban Residential
South	Industrial and Residential	Residential	Guilford County
East	Church / Residential	Residential	Suburban Residential / Neighborhood Business
West	O&I / Residential	Industrial	Suburban Residential

Comprehensive Plan Consistency:

Although inconsistent with the Comprehensive Plan the area is zoned for Industrial use. Telecommunication Towers are allowed by Conditional Zoning making the use compatible with uses in the area.

Staff Recommendation

The site plan has been approved by the Technical Review Committee. The applicant has submitted information stating the need for the tower location.

Staff recommends approval of the rezoning request.

**City of Burlington
Zoning & Parcel
Information System**



City of Burlington
GIS Division

Last Update:
June 02, 2009

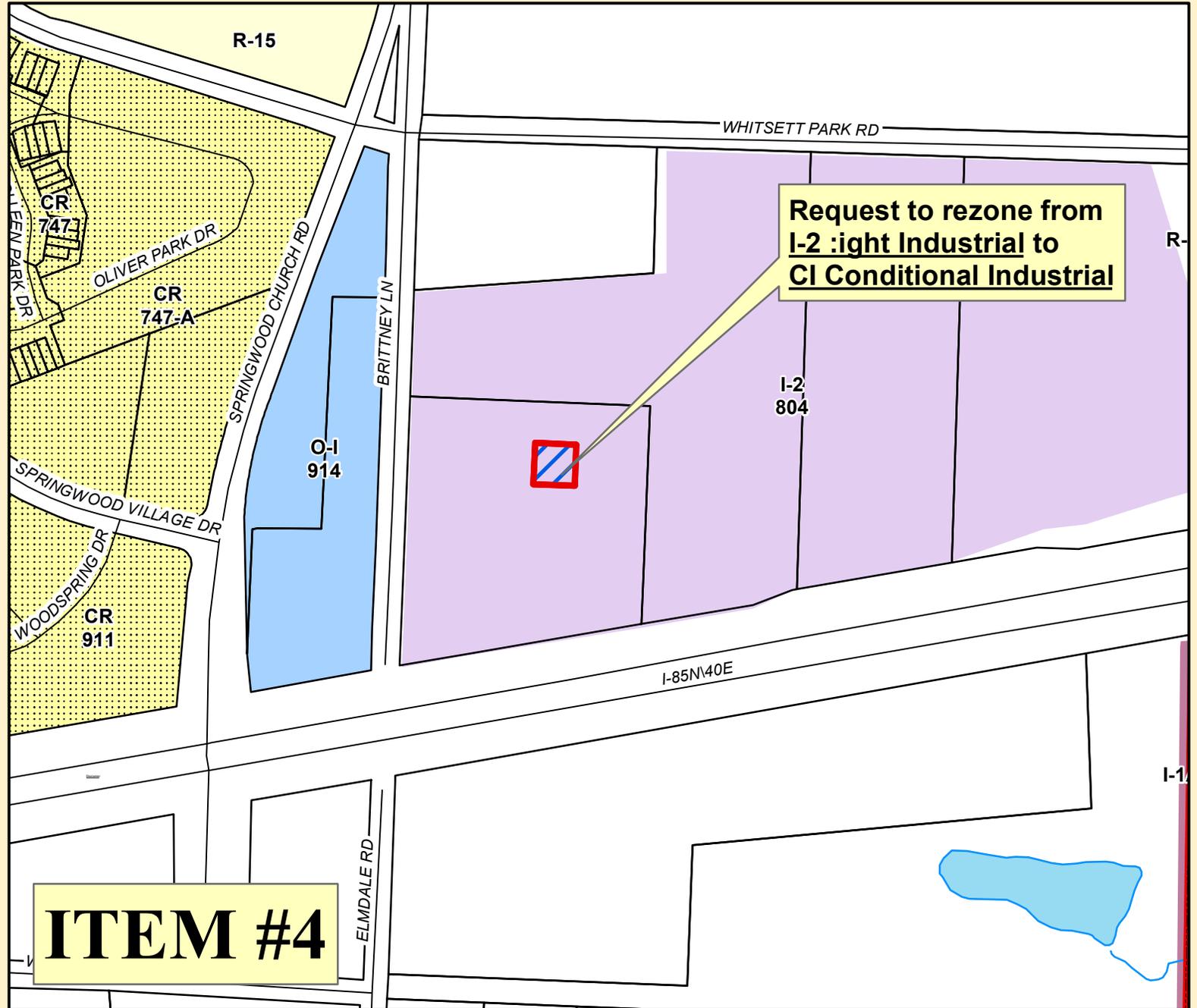
Legend

Zoning

B-1	I-3
B-2	MF-A
B-3	MF-B
CB	O-I
CI	RO-I
CMX-C	CPEC
CMX-R	R-6
CO-I	R-9
CR	R-12
I-1	R-15
I-1A	R-30
I-2	R-M



1 inch = 350 feet



ITEM #4

Disclaimer:
This map was compiled from the GIS resources of the Burlington Regional GIS Partnership for public planning and agency support purposes. These resources include public information sources of different scale, time, origin, definition and accuracy, which aspects produce inconsistencies among features represented together on this map. Neither the City of Burlington nor the Partnership shall be held liable for any errors in this map or supporting data. Primary public information sources from which this map was compiled, in conjunction with field surveys where required, must be consulted for the verification of the information contained within this map.

**CITY OF BURLINGTON
PLANNING DEPARTMENT**



Date Submitted _____ Fee/Receipt No. _____ / _____

Provide the required information as indicated below. Pursuant to the City of Burlington Zoning Ordinance, this application will not be processed until application fees are paid, the form below is completed and signed and all required maps and plans and documents have been submitted to the satisfaction of the Planning Department. Additional sheets for tax references, signatures and use and development conditions are attached.

Pursuant to Section 32.19 of the City of Burlington Zoning Ordinance, the undersigned hereby requests the City of Burlington to rezone the property listed below from I-2 zoning district to CI zoning district for the following purpose: To construct and operate a 150' cell tower on a 60'x60' compound within a 100'x100' leased area

Said property is located at 1425 Brittany Lane, Burlington, N.C.

Being a total of _____ acres and further referenced on Alamance County or Guilford County Tax Maps as follows: (Additional space on Page 5)

Tax Map A portion of 8834829348

Tax Map _____

Tax Map _____

Tax Map _____

Check one:

- The property requested for rezoning is an entire parcel or parcels as shown on the Alamance or Guilford County Tax Map.
- The property requested for rezoning is a portion of a parcel or parcels as shown on the Alamance or Guilford County Tax Map and a written legal description of the property and a map are attached.

Check one:

- Public services (i.e., water and sewer) are not requested or required.
- Public services (i.e., water and sewer) are requested or required.

Conditional rezoning requirements:

- Zoning Sketch Plan.** A sketch plan illustrating proposed conditions and other pertinent information is required for all conditional rezoning requests. Sketch elements not illustrating proposed conditions are subject to subdivision and site plan review. Refer to Section 32.19 of the City of Burlington Zoning Ordinance for conditional rezoning requirements.
- Zoning Conditions.** Use and/or development conditions must be provided. Complete Part II of this application. Refer to uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance.

717 396-8953

**CITY OF BURLINGTON
PLANNING DEPARTMENT**



USE CONDITIONS: Uses of the property shall be limited to the following uses as listed in the Table of Permitted Uses, Section 32.9. of the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) Telecommunication towers free-standing structures-
This will be a 150 foot tall monopole with a 9 foot lightning
rod on top for a total height of 159 feet.
- 2) _____
- 3) The CI zoning district shall allow all I2 zoning uses.
- 4) _____

DEVELOPMENT CONDITIONS: Development of the property shall occur in accordance with the following standards and requirements in addition to those specified in the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) LP tank installation to be permitted by N.C. Dept. of Agriculture.
- 2) Appropriate land disturbance documents will be filed with the City.
- 3) Driveway permit will be obtained through NCDOT. (District 2)
- 4) Permits for concrete work, gas piping and electrical will be obtained.
- 5) If the property will have a security alarm it will be registered
with the Burlington Police Dept.
- 4) _____

(Additional signature space on Page 5)

Jürgen Dietrich
Property Owner's Signature

Jürgen Dietrich
Property Owner's Name Printed

Pres. J&R Dietrich Properties, LLC
Name of Firm (if applicable)

1425 Brittney Lane
Mailing Address

Burlington, N.C. 27215
City, State and Zip Code

736-449-7755
Area Code and Daytime Telephone Number

James L LaPann
Representative's Signature (if applicable)

James L LaPann
Representative's Name Printed

Faulk & Foster
Name of Firm (if applicable)

584 Laurel Lane
Mailing Address

Lancaster PA 17601
City, State and Zip Code

518-291-3940
Area Code and Daytime Telephone Number

Network Operations



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262

Phone 704 510-8500

August 23, 2018

Joey Lea
Zoning Administrator
City of Burlington
425 S Lexington Avenue
Burlington, N.C. 27215

Re: Proposed Verizon Wireless Telecommunications Tower on
Brittany Ln.
Parcel number: 0103308
Tax Parcel Verizon Site Name: **Elmdale**

To whom it may concern:

I am providing this Letter to comply with Zoning Code Section with 32.10.RR(5) regarding the possibility of putting antennas on an existing tower, rather than building a new tower.

Verizon Wireless engineers have determined that the Verizon Wireless network requires that the tower that we are referring as "Elmdale" be located within a certain portion of the City of Burlington.

Verizon Wireless had done a review of said area to locate any existing sites that could serve as an alternative to constructing a new tower. After doing a thorough review of the search area, Verizon Wireless was not able to locate any existing cell towers or buildings that are of adequate height to provide a co-location option for these antennas (150').

Very truly yours,

A handwritten signature in black ink that reads "Mike Haven".

Mike Haven
Real Estate Manager
Verizon Wireless



8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

ELMDALE

SITE ADDRESS

1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY
LATITUDE: 36° 03' 49.3" N
LONGITUDE: 79° 32' 40.7" W
TAX/PIN #: 8834829583
ZONING: I-2

MUNICIPALITY:
CITY OF BURLINGTON

STATE:
NORTH CAROLINA

TOWER TYPE:
MONOPOLE TOWER

TOWER HEIGHT:
150' (159' TO HIGHEST APPURTENANCE)

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER
AND UNMANNED EQUIPMENT

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: (706) 968-9189
ATTN.: DAVID FRANKLIN

PROJECT SUMMARY

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 577-8785
ATTN: MICHAEL HAVEN

POWER COMPANY
DUKE ENERGY
PHONE: (800) 777-9898
ATTN.: CUSTOMER SERVICE

PROPERTY OWNER
J & R PROPERTIES LLC
1425 BRITTANY LANE
BURLINGTON, NC 27215
PHONE: (336) 516-0866
ATTN.: JURGEN DIETRICH

FLOOD INFO
SITE IS LOCATED WITHIN FEMA FLOOD MAP
AREA 3710883400K DATED 06/18/2007 WITHIN
FLOOD ZONE X.

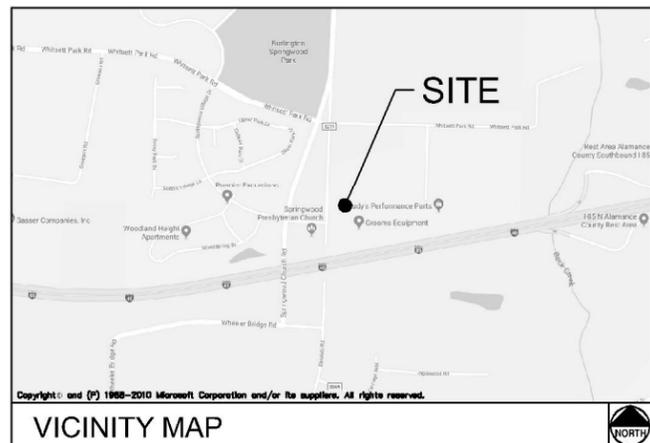
CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
T2	APPENDIX B - BUILDING CODE SUMMARY
--	SITE SURVEY (SHEET 1 OF 2)
--	SITE SURVEY (SHEET 2 OF 2)
N1	GENERAL NOTES
C1	OVERALL SITE PLAN
C2	SITE PLAN
C3	FENCE, GATE, AND COMPOUND DETAILS
C4	ACCESS ROAD DETAILS
C5	SITE SIGNAGE DETAILS
C6	ANTENNA AND TOWER ELEVATION DETAILS
L1	LANDSCAPING PLAN AND NOTES

SHEET INDEX

CITY OF BURLINGTON PLANNING DEPARTMENT
425 S. LEXINGTON AVENUE
BURLINGTON, NC 27216
PHONE: (336) 222-5110
ATTN.: CUSTOMER SERVICE

PERMIT INFORMATION



VICINITY MAP

FROM CHARLOTTE OFFICE: START OUT GOING SOUTHWEST ON RESEARCH DRIVE TOWARDS HARRIS BLVD. FOR 0.4 MILE; TURN LEFT ONTO W. WT HARRIS BLVD. / NC-24-E. FOR 0.4 MILE; TURN LEFT ONTO THE I-85 N RAMP. FOR 0.3 MILE; MERGE ONTO I-85 N. FOR 33.8 MILE; KEEP LEFT TO STAY ON I-85 N. FOR 41.1 MILE; KEEP RIGHT AT THE FORK TO CONTINUE ON I-85BUS N/US-29 N/US-70 E, FOLLOW SIGNS FOR GREENSBORO. FOR 12.0 MILE; MERGE ONTO I-40 E/I-85 N. FOR 5.4 MILE; TAKE EXIT 138 FOR NC-61 N TOWARD GIBSONVILLE. FOR 0.2 MILE; TURN LEFT ONTO NC-61 N. FOR 0.5 MILE; TURN RIGHT ONTO WHITSETT PARK RD. FOR 1.1 MILE; TURN RIGHT ONTO BRITTANY LANE. FOR 0.2 MILE; DESTINATION WILL BE ON THE LEFT.

DRIVING DIRECTIONS

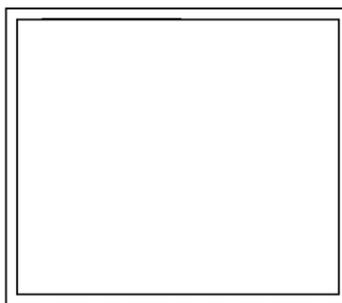


PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

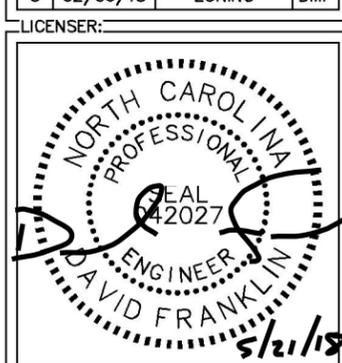
PLANS PREPARED BY:

Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102



REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3			
2	05/21/18	ZONING	DMF
1	02/15/18	ZONING	DMF
0	02/06/18	ZONING	DMF



LICENSER:

KHA PROJECT NUMBER:
018985567

DRAWN BY: KMP **CHECKED BY:** KAB

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
T1

K:\ATL_Wireless\000_Verizon\CAD\ZD\WirelessCB_ZD.dwg 05/21/18 11:11 AM by: michael.dickerson

**2012 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)**

Name of Project: **VERIZON WIRELESS - ELMDALE**
 Address: **1413 BRITTAY LANE BURLINGTON, NC** Zip Code **27215**
 Proposed Use: **WIRELESS COMMUNICATION SERVICES**
 Owner/Authorized Agent: **DAVID FRANKLIN** Phone # (770) **825-0744** E-Mail **davidfranklin@kimley-horn.com**
 Owned By: City/County Private State Other **Kimley-Horn.com**
 Code Enforcement Jurisdiction: City **BURLINGTON** County State

LEAD DESIGN PROFESSIONAL: DAVID FRANKLIN, P.E. (#042027)

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural					
Civil	KIMLEY-HORN & ASSOC.	DAVID FRANKLIN	042027	(770) 825-0744	davidfranklin@kimley-horn.com
Electrical	KIMLEY-HORN & ASSOC.	CORBIN C. HARDY	040828	(919) 877-2000	corbin.hardy@kimley-horn.com
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

2012 EDITION OF NC CODE FOR: New Construction Addition Upfit
 Reconstruction Alteration Repair Renovation
EXISTING: (date) ORIGINAL USE(S) (Ch. 3): **TELECOMMUNICATIONS SITE**
RENOVATED: (date) CURRENT USE(S) (Ch. 3): **TELECOMMUNICATIONS SITE**
 PROPOSED USE(S) (Ch. 3): **TELECOMMUNICATIONS SITE**

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Building Height: (feet) _____
Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
6 th Floor		N/A	
5 th Floor		N/A	
4 th Floor		N/A	
3 rd Floor		N/A	
2 nd Floor		N/A	
Mezzanine		N/A	
1 st Floor		N/A	
Basement		N/A	
TOTAL			

ALLOWABLE AREA

Occupancy:
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4 I-5
 1-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancies:
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4 I-5
 1-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Incidental Uses (Table 508.2.5):
 Furnace room where any piece of equipment is over 400,000 Btu per hour input
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
 Refrigerant machine room
 Hydrogen cutoff rooms, not classified as Group H
 Incinerator rooms
 Paint shops, not classified as Group H located in occupancies other than Group F
 Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy
 Laundry rooms over 100 square feet
 Group I-3 cells equipped with padded surfaces
 Group I-2 waste and linen collection rooms
 Waste and linen collection rooms over 100 square feet
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 rounds used for facility standby power, emergency power or uninterrupted power supplies
 Rooms containing fire pumps
 Group I-2 storage rooms over 100 square feet
 Group I-2 commercial kitchens
 Group I-2 laundries equal to or less than 100 square feet
 Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: 402 403 404 405 406 407 408 409 410 411 412
 413 414 415 416 417 418 419 420 421 422 423 424
 425 426 427
Special Provisions: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Incidental Use Separation (508.2.5)
 Non-Separated Use (508.3)
 This separation is not exempt as a Non-Separated Use (see exceptions).
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503 AREA	(C) AREA FOR FRONTAGE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴

¹ Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase $I_f = 100 [F/P - 0.25] \times W/30 = ______ (\%)$
² The sprinkler increase per Section 506.3 is as follows:
 a. Multi-story building $I_s = 200$ percent
 b. Single story building $I_s = 300$ percent
³ Unlimited area applicable under conditions of Section 507.
⁴ Maximum Building Area = total number of stories in the building x E (506.4).
⁵ The maximum area of open parking garages must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 412.1.2.

ALLOWABLE HEIGHT

Type of Construction	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet	Type _____	Feet = H + 20' = _____	Type _____	
Building Height in Stories		Stories + 1 = _____		

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists							
Roof Construction							
Including supporting beams and joists							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant Separation							
Incidental Use Separation							

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes N/A
 Exit Signs: No Yes N/A
 Fire Alarm: No Yes Partial
 Smoke Detection Systems: No Yes Partial
 Panic Hardware: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: _____

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Existing structures within 30' of the proposed building
 Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
 Occupant loads for each area
 Exit access travel distances (1016)
 Common path of travel distances (1014.3 & 1028.8)
 Dead end lengths (1018.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1008.1.10)
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
 Location of doors with electromagnetic egress locks (1008.1.9.8)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1029)
 The square footage of each fire area (902)
 The square footage of each smoke compartment (407.4)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS	132" ACCESS VAN SPACES WITH 5' ACCESS	8' ACCESS AISLE	
TOTAL						

STRUCTURAL DESIGN

DESIGN LOADS:
Importance Factors: Wind (I_w) _____
 Snow (I_s) _____
 Seismic (I_e) _____
Live Loads: Roof _____ psf
 Mezzanine _____ psf
 Floor _____ psf
Ground Snow Load: _____ psf
Wind Load: Basic Wind Speed _____ mph (ASCE-7)
 Exposure Category _____
 Wind Base Shears (for MWFRS) V_x = _____ V_y = _____

SEISMIC DESIGN CATEGORY: A B C D
 Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s _____ %g S₁ _____ %g
Site Classification (Table 1613.5.2) A B C D E F
 Data Source: Field Test Presumptive Historical Data
Basic structural system (check one)
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
Seismic base shear: V_y _____ V_x _____
Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No
LATERAL DESIGN CONTROL: Earthquake Wind

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

SPACE	EXISTING	WATERCLOSETS		LAVATORIES		SHOWERS/TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	MALE	FEMALE		REGULAR	ACCESSIBLE
	REQUIRED							

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Climate Zone: 3 4 5

Method of Compliance:
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE

Roof/Ceiling Assembly (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Skylights in each assembly:
 U-Value of skylight: _____
 total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors over unconditioned space (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab heated: _____

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
 winter dry bulb: _____
 summer dry bulb: _____

Interior design conditions
 winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Building heating load: _____
Building cooling load: _____

Mechanical Spacing Conditioning System
 Unitary description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler size category. If oversized, state reason: _____
 Chiller size category. If oversized, state reason: _____
 List equipment efficiencies: _____

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type)
 lamp type required in fixture _____
 number of lamps in fixture _____
 ballast type used in the fixture _____
 number of ballasts in fixture _____
 total wattage per fixture _____
 total interior wattage specified vs. allowed (whole building or space by space) _____
 total exterior wattage specified vs. allowed _____

Additional Prescriptive Compliance
 506.2.1 More Efficient Mechanical Equipment
 506.2.2 Reduced Lighting Power Density
 506.2.3 Energy Recovery Ventilation Systems
 506.2.4 Higher Efficiency Service Water Heating
 506.2.5 On-Site Supply of Renewable Energy
 506.2.6 Automatic Daylighting Control Systems

NOTE: SCOPE OF WORK INCLUDES INSTALLATION OF CAST IN PLACE CONCRETE PAD, PREFABRICATED EQUIPMENT CABINETS AND GENERATOR. NO NEW BUILDING BEING CONSTRUCTED.



PROJECT INFORMATION:
SITE NAME:
 ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
 1413 BRITAY LANE
 BURLINGTON, NC 27215
 GUILFORD COUNTY

PLANS PREPARED BY:
Kimley-Horn
 11720 AMBER PARK DRIVE, SUITE 600
 ALPHARETTA, GA 30009
 PHONE: 770-619-4280
 WWW.KIMLEY-HORN.COM
 NC License F-0102

REV: _____ DATE: _____ ISSUED FOR: _____ BY: _____

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2			
1	02/15/18	ZONING	DMF
0	02/06/18	ZONING	DMF

LICENSER:

NORTH CAROLINA
 PROFESSIONAL
 SEAL
 042027
 DAVID FRANKLIN
 2/16/18

KHA PROJECT NUMBER:
 018985567
DRAWN BY: KMP **CHECKED BY:** KAB
SHEET TITLE:
APPENDIX B - BUILDING CODE SUMMARY
SHEET NUMBER:
 T2

K:\ATL_Wireless\000_Verizon\2017 Sites\Elmdale\CAD\ZD_WirelessCB_ZD.dwg 02/15/18 8:50 AM by: kerry.pierre

NOTES

- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND DEEDS OF RECORD.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHT OF WAY OF RECORD.
- ALL PROPERTY OWNERS ARE NOW OR FORMERLY. ADJACENT OWNER INFORMATION TAKEN FROM COUNTY TAX RECORDS.
- AREA BY COMPUTER (COORDINATE METHOD).
- ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
- NORTH ORIENTATION BASED UPON NC GRID AND WAS ESTABLISHED BY SURVEY GRADE LEICA DUAL FREQUENCY GPS RECEIVER.
- THIS MAP IS OF LEASED PROPERTY AND DOES NOT CREATE A SUBDIVISION OF LAND.
- THIS MAP IS FOR LEASE PURPOSES AND IS NOT A BOUNDARY SURVEY OF THE ENTIRE TRACT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER FEMA FIRM COMMUNITY PANEL NUMBER 3710883400K, EFFECTIVE DATE OF JUNE 18, 2007.

LEGEND

- D.B. = DEED BOOK
- IPPF = IRON PIPE FOUND
- IPS = #4 REBAR SET
- RCP = RE-ENFORCED CONC. PIPE

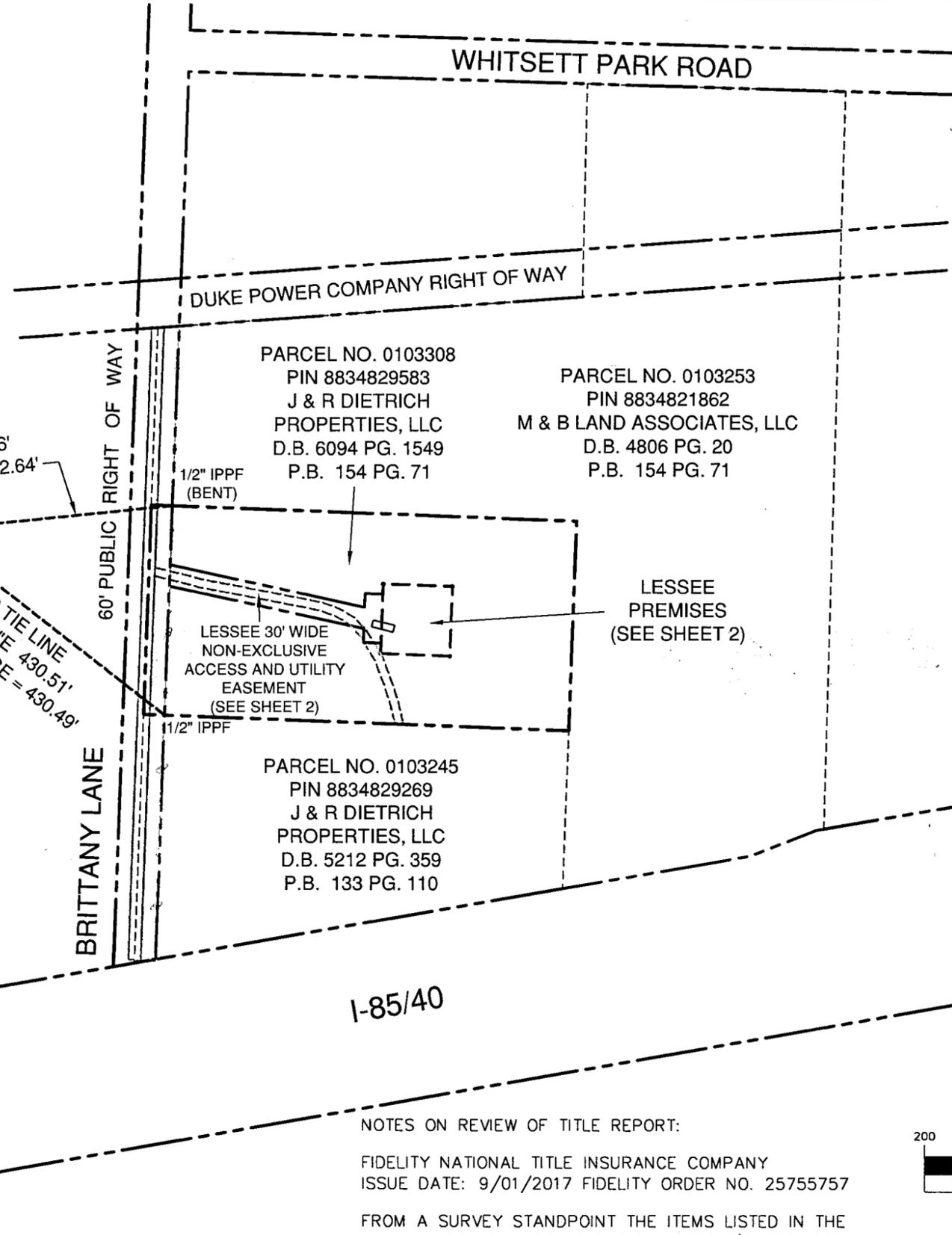
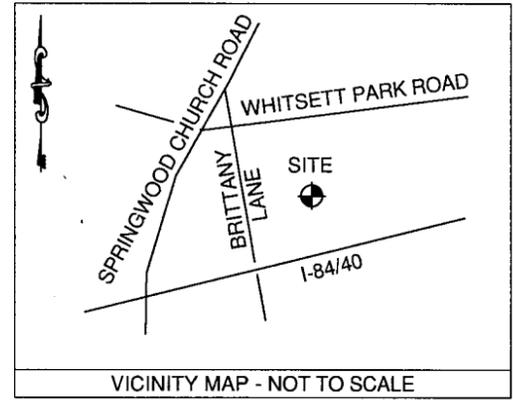
LINETYPE LEGEND

- = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- - - = FENCE LINES
- - - = EASEMENT LINES

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY DEPICTS THE LOCATIONS OF THIS SITE AS SURVEYED IN THE FIELD AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN. I FURTHER CERTIFY THAT THIS MAP WAS DRAWN BY ME FROM AN ACTUAL GPS SURVEY MADE BY ME AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY

1. CLASS OF SURVEY: A
2. POSITIONAL ACCURACY: <0.10'
3. TYPE OF GPS SURVEY PROCEDURE: NCGS NETWORK RTK USING A LEICA GS14 RECEIVER
4. DATES OF SURVEY: AUGUST 29, 2017
5. DATUM/EPOCH: NAD 83(NSRS2011)
6. PUBLISHED/FIXED-CONTROL: VRS NETWORK
7. GEOID MODEL: GEOID12B (CONUS)
8. COMBINED GRID FACTOR: 0.999947
9. UNITS: U.S. SURVEY FEET

Edward L. Killough
 EDWARD L. KILLOUGH L-1519 DATE: 4/30/18
 P.O. BOX 369
 INDIAN TRAIL, NC 28079
 TELEPHONE NO. 704 821-7111



PARCEL NO. 0103308
 PIN 8834829583
 J & R DIETRICH PROPERTIES, LLC
 D.B. 6094 PG. 1549
 P.B. 154 PG. 71

PARCEL NO. 0103253
 PIN 8834821862
 M & B LAND ASSOCIATES, LLC
 D.B. 4806 PG. 20
 P.B. 154 PG. 71

PARCEL NO. 0103245
 PIN 8834829269
 J & R DIETRICH PROPERTIES, LLC
 D.B. 5212 PG. 359
 P.B. 133 PG. 110

GRID TIE LINE
 N84°11'15"E 352.66'
 GRID DISTANCE = 352.64'

GRID TIE LINE
 S52°05'41"E 430.51'
 GRID DISTANCE = 430.49'

60' PUBLIC RIGHT OF WAY

BRITTANY LANE

1/2" IPPF (BENT)

1/2" IPPF

LESSEE 30' WIDE NON-EXCLUSIVE ACCESS AND UTILITY EASEMENT (SEE SHEET 2)

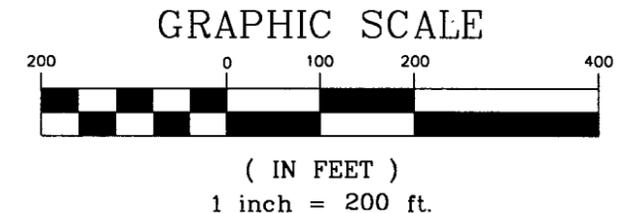
LESSEE PREMISES (SEE SHEET 2)

1-85/40

1-84/40

NCGS CONTROL MONUMENT WORSHIP
 PID DP6425
 NCSPC NAD83 (2011)
 NORTH 842,652.17'
 EAST 1,838,326.15'

NOTES ON REVIEW OF TITLE REPORT:
 FIDELITY NATIONAL TITLE INSURANCE COMPANY
 ISSUE DATE: 9/01/2017 FIDELITY ORDER NO. 25755757
 FROM A SURVEY STANDPOINT THE ITEMS LISTED IN THE TITLE REPORT DO NOT AFFECT THE LESSEE'S PREMISES.



Kimley»Horn
 11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
 PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 4/30/18

ELMDALE
 1413 BRITTANY LANE
 BURLINGTON, NC 27215
 GUILFORD COUNTY

verizon wireless
 ALLTEL COMMUNICATIONS OF NORTH CAROLINA LIMITED PARTNERSHIP

REVISIONS						
No.	DATE	DESCRIPTION	BY	CHK	APPD	
1	4/30/18	TEXT REVISIONS AND REISSUED AS FINAL DRAWING	EK	EK	EK	
0	1/25/18	ISSUED AS FINAL DRAWING	EK	EK	EK	
A	9/11/17	ISSUED FOR REVIEW	EK	EK	EK	

SITE SURVEY
PROPOSED MONOPOLE TOWER
 DRAWING No. SHEET 1 OF 2

CENTER OF
PROPOSED TOWER
LAT = 36°03'49.3" N
LONG = 79°32'40.7" W
GROUND ELEVATION = 630.3' NAVD 88

GRID TIE LINE
SEE SHEET 1
N84°11'15"E 352.66'
GRID DISTANCE = 352.64'

- LEGEND**
- = CALCULATED POINT
 - CP = CABLE PEDESTAL
 - D.B. = DEED BOOK
 - EL = ELEVATION
 - FOV = FIBER OPTIC VAULT
 - IPF = 1/2" REBAR FOUND (#4)
 - IPS = IRON PIN SET (#4 REBAR)
 - IPPF = IRON PIPE FOUND
 - NCSP = NC STATE PLANE COORDINATES
 - P.B. = PLAT BOOK
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - POT = POINT OF TERMINUS
 - PP = POWER POLE
 - PP-TR = POWER POLE WITH TRSF
 - TP = TELEPHONE PEDESTAL
 - TRSF = TRANSFORMER

GRID TIE LINE
SEE SHEET 1
S52°05'41"E 430.51'
GRID DISTANCE = 430.49'



Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 4/30/18
P.O. BOX 369
INDIAN TRAIL, NC 28079
TELEPHONE NO. 704 821-7111

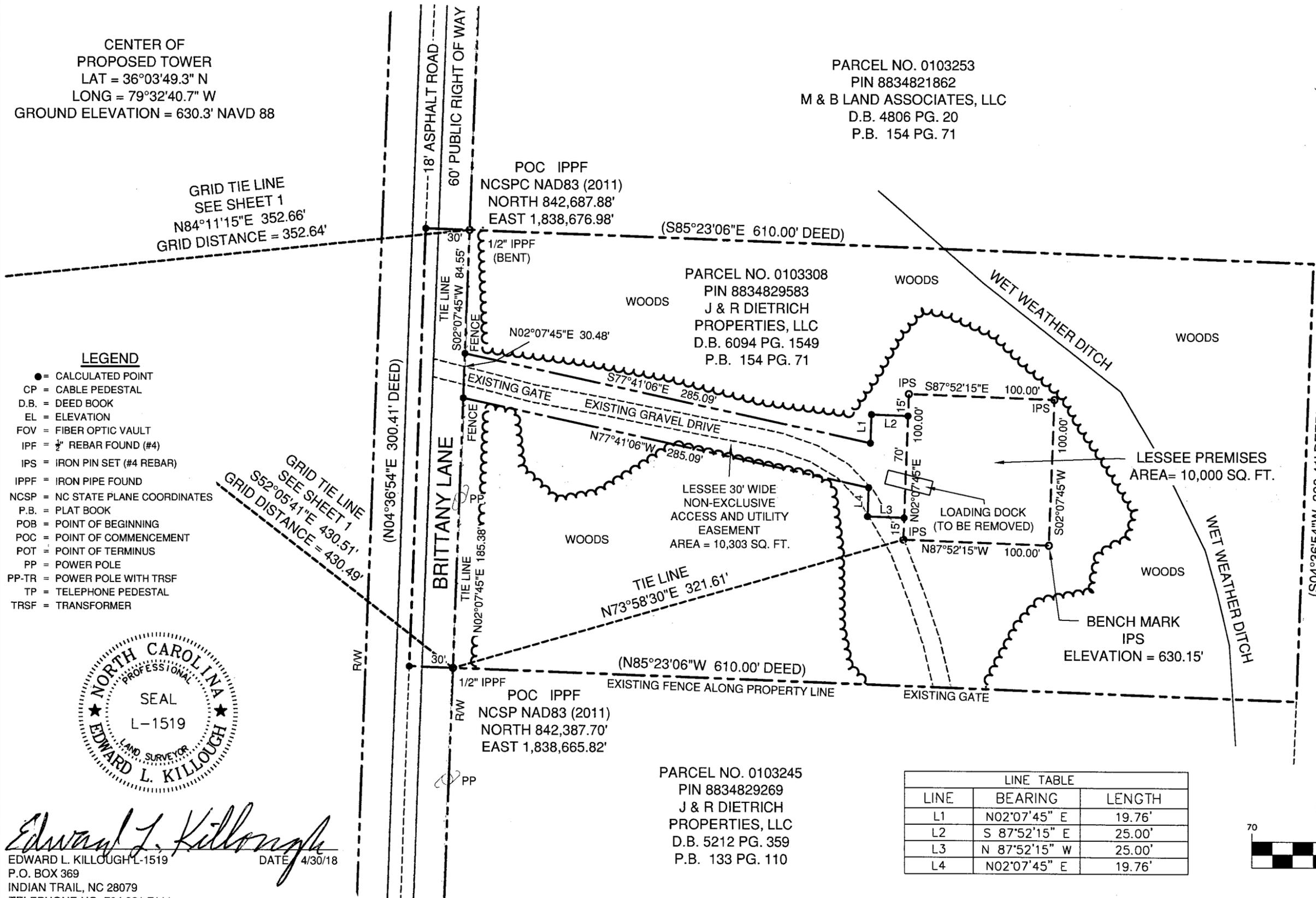
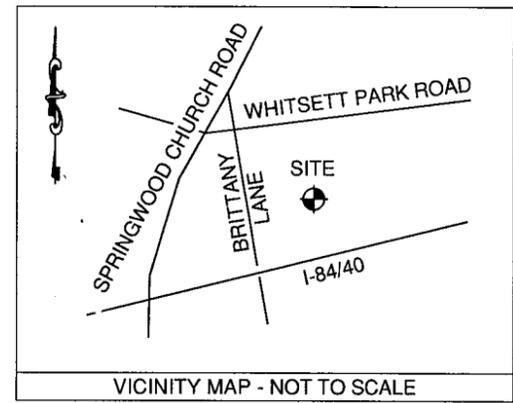
PARCEL NO. 0103253
PIN 8834821862
M & B LAND ASSOCIATES, LLC
D.B. 4806 PG. 20
P.B. 154 PG. 71

POC IPPF
NCSPC NAD83 (2011)
NORTH 842,687.88'
EAST 1,838,676.98'

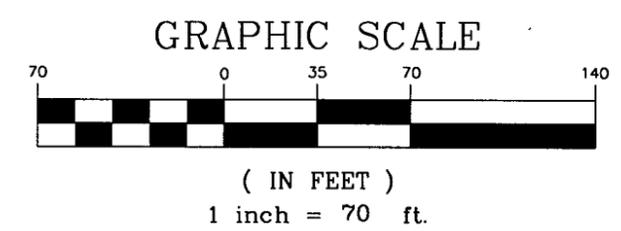
PARCEL NO. 0103308
PIN 8834829583
J & R DIETRICH
PROPERTIES, LLC
D.B. 6094 PG. 1549
P.B. 154 PG. 71

POC IPPF
NCSP NAD83 (2011)
NORTH 842,387.70'
EAST 1,838,665.82'

PARCEL NO. 0103245
PIN 8834829269
J & R DIETRICH
PROPERTIES, LLC
D.B. 5212 PG. 359
P.B. 133 PG. 110



LINE TABLE		
LINE	BEARING	LENGTH
L1	N02°07'45" E	19.76'
L2	S 87°52'15" E	25.00'
L3	N 87°52'15" W	25.00'
L4	N02°07'45" E	19.76'



Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 4/30/18

ELMDALE
1413 BRITTANY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

verizon wireless
ALLTEL COMMUNICATIONS OF NORTH
CAROLINA LIMITED PARTNERSHIP

REVISIONS				
No.	DATE	DESCRIPTION	BY	CHK APP'D
1	4/30/18	TEXT REVISIONS AND REISSUED AS FINAL DRAWING	EK	EK EK
0	1/25/18	ISSUED AS FINAL DRAWING	EK	EK EK
A	9/11/17	ISSUED FOR REVIEW	EK	EK EK

SITE SURVEY
PROPOSED MONOPOLE TOWER

DRAWING No. SHEET 2 OF 2

REV 1

1.00 GENERAL NOTES

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "NORTH CAROLINA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 632-4949 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C5.

2.00 EQUIPMENT FOUNDATION NOTES

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 FIBERS FOR CONCRETE SHALL BE FIBERMESH 650, 100 PERCENT VIRGIN POLYPROPYLENE FIBRILLATED FIBERS, e3 PATENTED TECHNOLOGY PATENTED TECHNOLOGY, CONTAINING NO REPROCESSED OLEFIN MATERIALS. THE FIBERS SHALL CONFORM TO ASTM C1116 TYPE III AND MANUFACTURED SPECIFICALLY FOR THE SECONDARY REINFORCEMENT OF CONCRETE.
- 2.08 THE FIBERS SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED MANUFACTURING FACILITY. UNLESS OTHERWISE STATED, FIBERMESH 650 MACRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE AT THE BATCHING PLANT AT THE RECOMMENDED APPLICATION RATE OF 3 LBS/YD³ AND MIXED FOR A SUFFICIENT TIME (MINIMUM 5 MINUTES AT FULL MIXING SPEED) TO ENSURE UNIFORM DISTRIBUTION OF THE FIBERS THROUGHOUT THE CONCRETE. FIBROUS CONCRETE REINFORCEMENT SHALL BE MANUFACTURED BY FIBERMESH, 4019 INDUSTRY DRIVE, CHATTANOOGA, TN 37416 USA, TEL: 800 621-1273, WEBSITE: WWW.FIBERMESH.COM
- 2.09 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.10 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.11 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.12 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.13 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.
- 2.14 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.15 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.



8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GULFORD COUNTY

PLANS PREPARED BY:

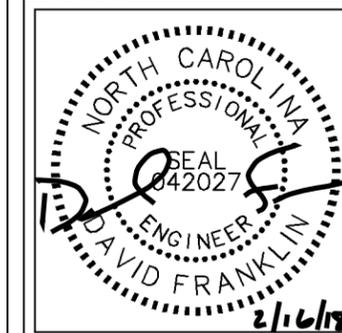


11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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3			
2			
1	02/15/18	ZONING	DMF
0	02/06/18	ZONING	DMF

LICENSER:



KHA PROJECT NUMBER:

018985567

DRAWN BY: CHECKED BY:

KMP KAB

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1

K:\ATL_Wireless\000_Verizon\2017_Sites\Elmdale\CAD\ZD\Wireless\ZD.dwg by: kerry.pierre 02/15/18 8:50 AM

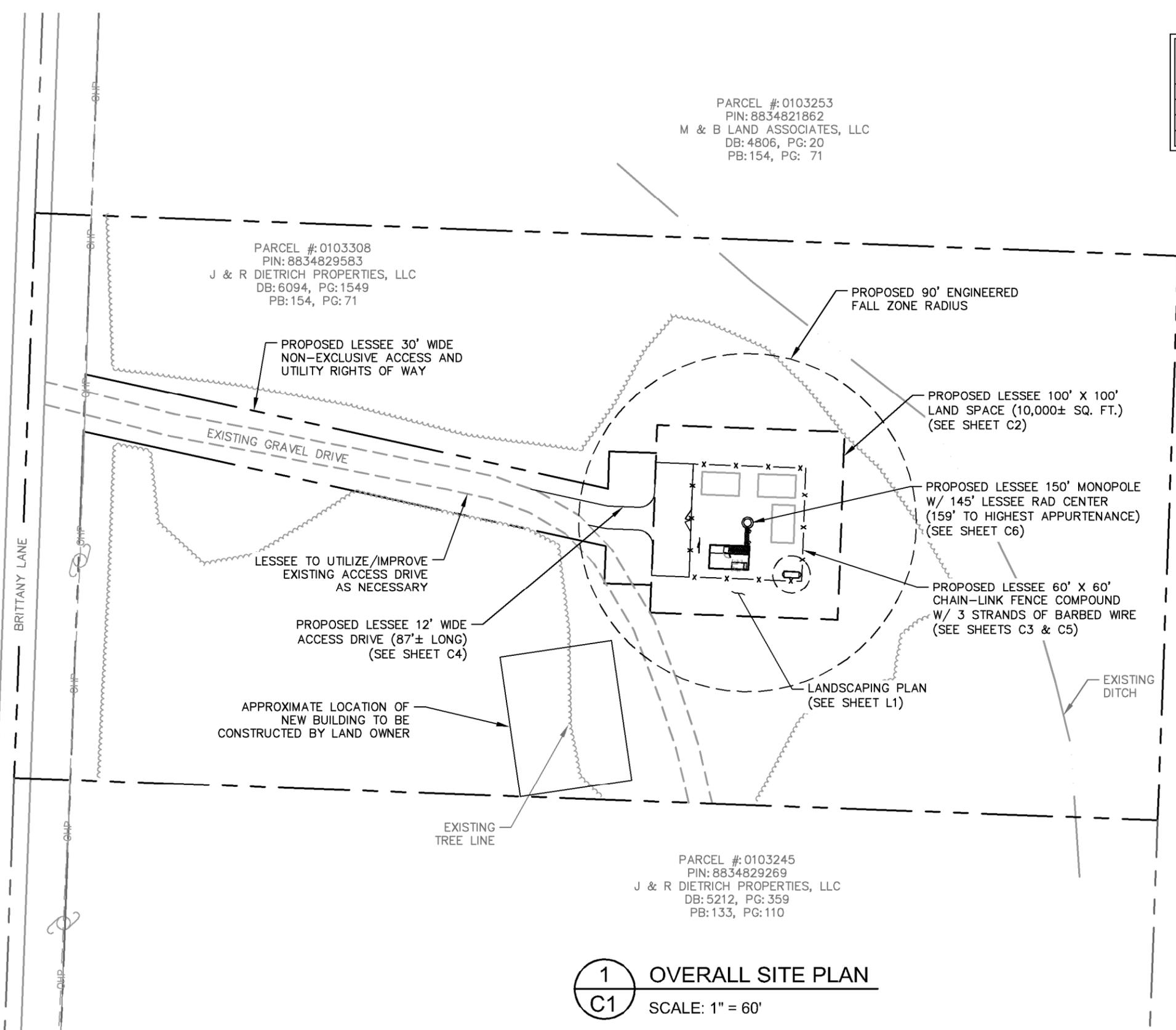
K:\ATL_Wireless\000_Verizon\2017 Sites\ElmDale\CAD\ZD\WirelessCB_ZD.dwg ----- 05/21/18 11:11 AM by: michael.dickerson

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	150'-2"
SOUTH	150'-2"
EAST	224'-5"
WEST	385'-7"

PARCEL #: 0103253
 PIN: 8834821862
 M & B LAND ASSOCIATES, LLC
 DB: 4806, PG: 20
 PB: 154, PG: 71

PARCEL #: 0103308
 PIN: 8834829583
 J & R DIETRICH PROPERTIES, LLC
 DB: 6094, PG: 1549
 PB: 154, PG: 71

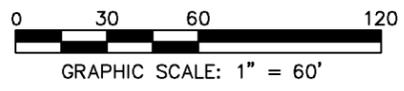
PARCEL #: 0103245
 PIN: 8834829269
 J & R DIETRICH PROPERTIES, LLC
 DB: 5212, PG: 359
 PB: 133, PG: 110



1 OVERALL SITE PLAN
 C1 SCALE: 1" = 60'

SURVEY NOTE:
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
 2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 01/25/18 AND SITE VISIT ON 08/29/17.

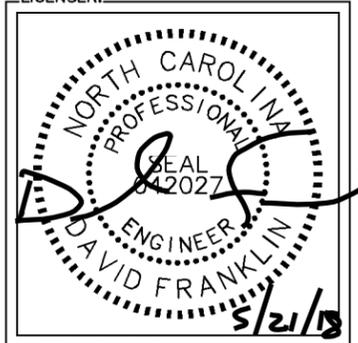
DEMO NOTE:
 1. EXISTING CONCRETE LOADING DOCK TO BE REMOVED PRIOR TO CONSTRUCTION (NOT SHOWN ON THIS SHEET)



PROJECT INFORMATION:
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PLANS PREPARED BY:
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 11720 AMBER PARK DRIVE, SUITE 600
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REV:	DATE:	ISSUED FOR:	BY:
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2	05/21/18	ZONING	DMF
1	02/15/18	ZONING	DMF
0	02/06/18	ZONING	DMF



KHA PROJECT NUMBER:
 018985567

DRAWN BY: KMP CHECKED BY: KAB

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C1

PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

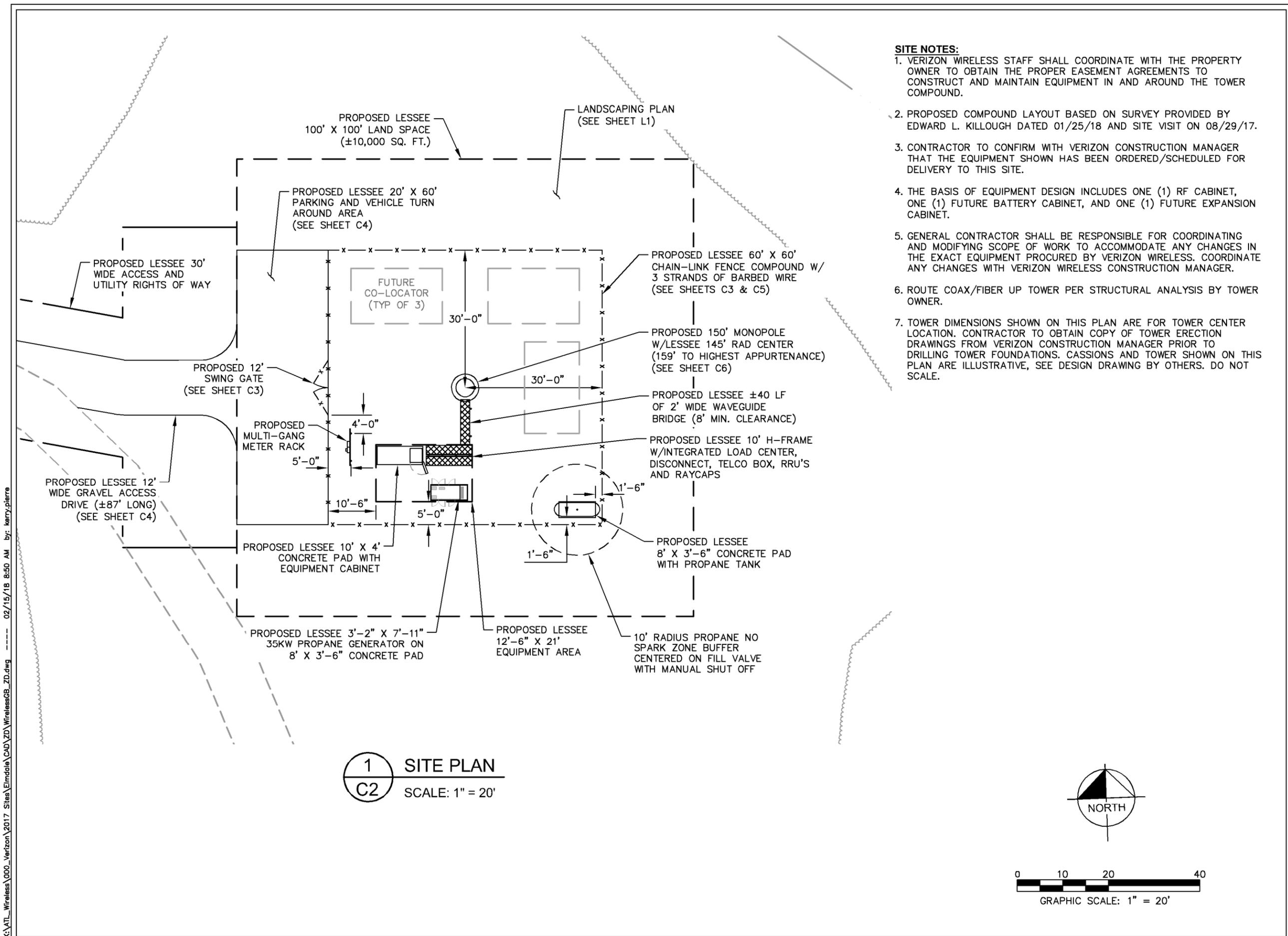
PLANS PREPARED BY:

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ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

SITE NOTES:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 01/25/18 AND SITE VISIT ON 08/29/17.
3. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
4. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET, ONE (1) FUTURE BATTERY CABINET, AND ONE (1) FUTURE EXPANSION CABINET.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY VERIZON WIRELESS. COORDINATE ANY CHANGES WITH VERIZON WIRELESS CONSTRUCTION MANAGER.
6. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
7. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM VERIZON CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. CASSIONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWING BY OTHERS. DO NOT SCALE.



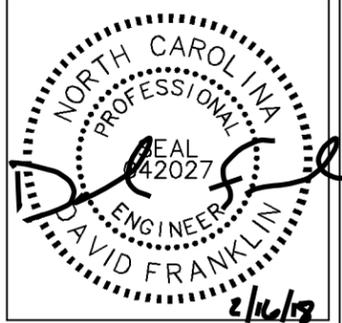
1 SITE PLAN
C2 SCALE: 1" = 20'



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LICENSER:



KHA PROJECT NUMBER:

018985567

DRAWN BY: CHECKED BY:

KMP KAB

SHEET TITLE:

SITE PLAN

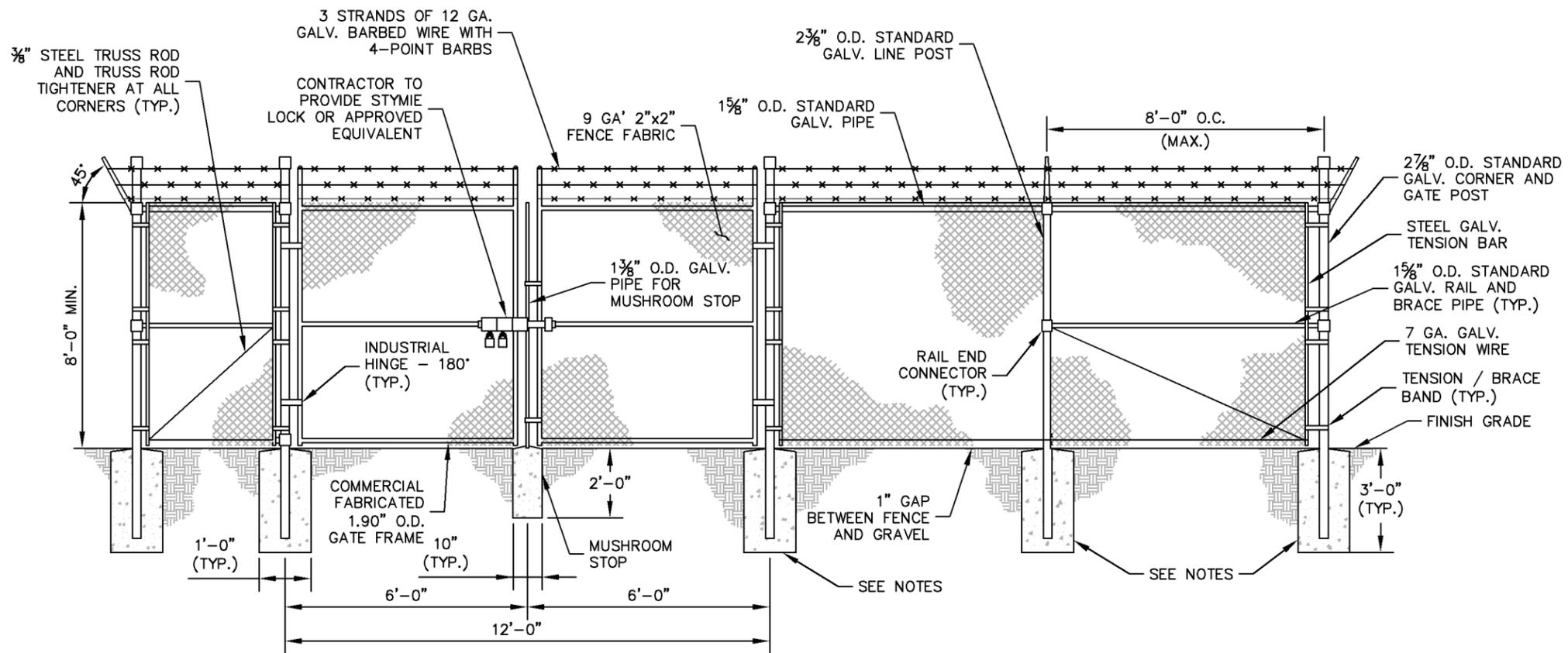
SHEET NUMBER:

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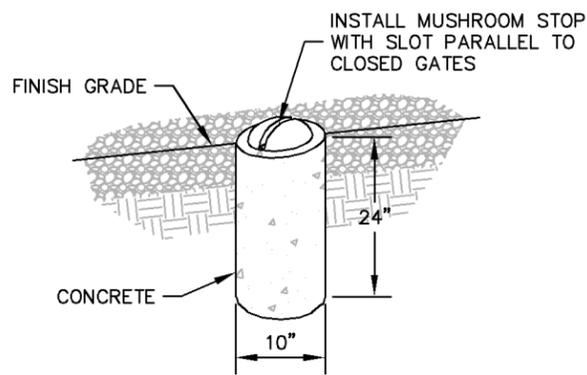
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FENCE NOTES:

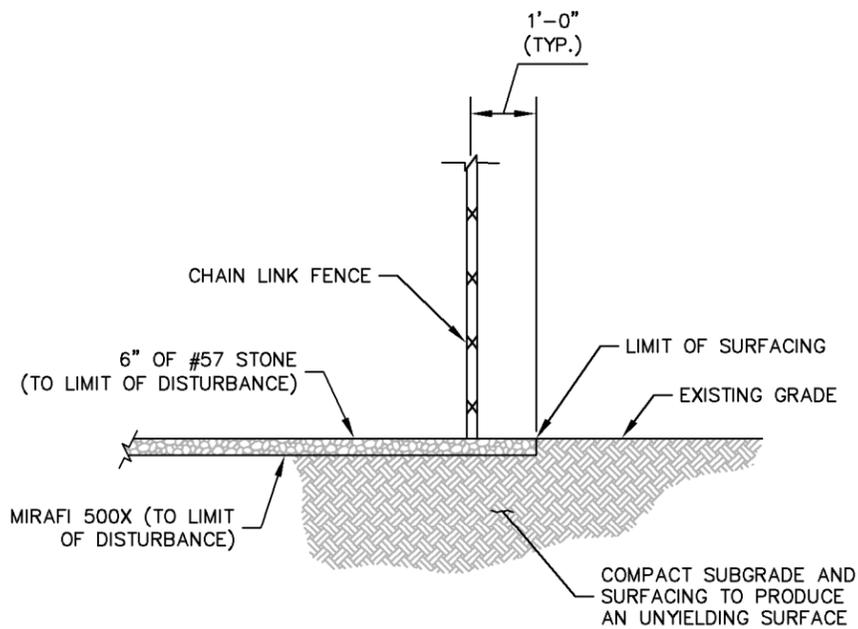
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



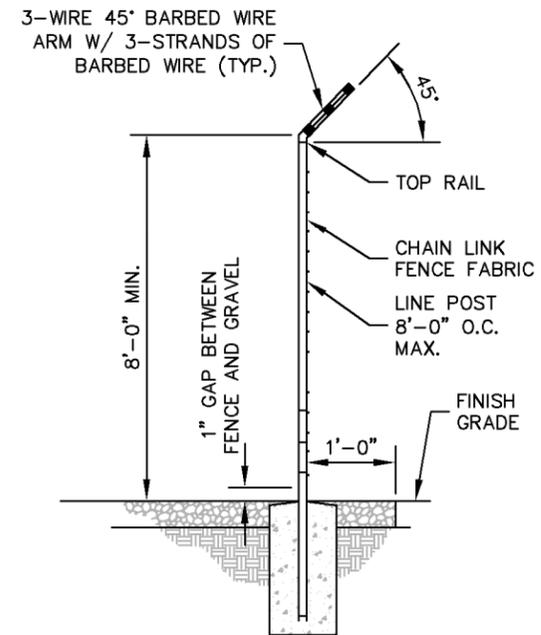
1 CHAIN LINK FENCE AND GATE ELEVATION
C3 NOT TO SCALE



2 MUSHROOM STOP
C3 NOT TO SCALE



3 SITE COMPOUND SURFACE DETAIL
C3 NOT TO SCALE



4 SECTION AT FENCE
C3 NOT TO SCALE

verizon

8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

PLANS PREPARED BY:

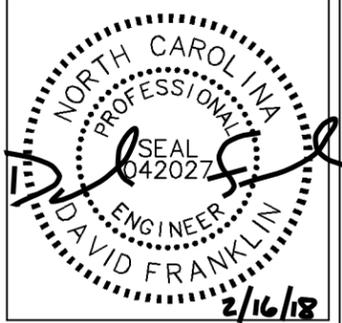
Kimley»Horn

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PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

018985567

DRAWN BY: CHECKED BY:

KMP

KAB

SHEET TITLE:

**FENCE, GATE, AND
COMPOUND
DETAILS**

SHEET NUMBER:

C3

K:\ATL_Wireless\000_Verizon\2017_Sites\Elmdale\CAD\ZD_Wireless\ZD.dwg by: kerry.pierre 02/15/18 8:51 AM

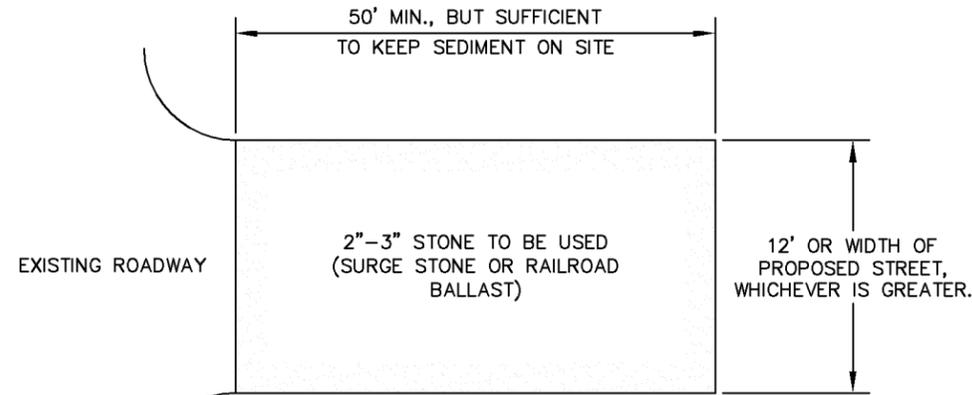
PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

PLANS PREPARED BY:

Kimley»Horn

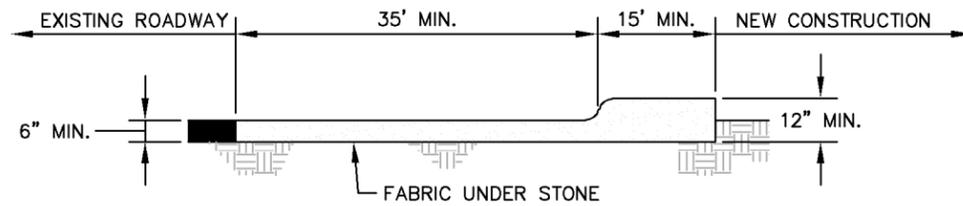
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PLAN

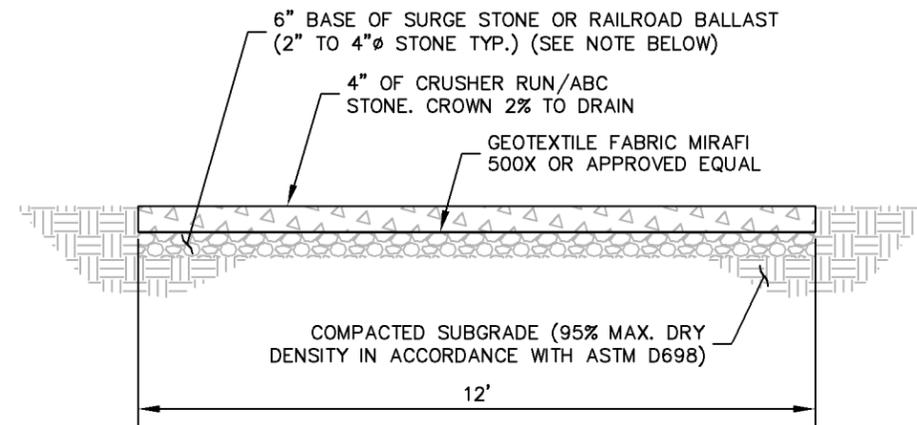
NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



CROSS SECTION

1 CONSTRUCTION ENTRANCE
C4 NOT TO SCALE



NOTE:

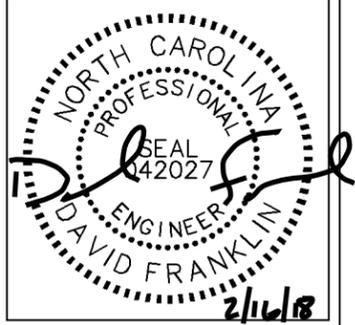
IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4" Ø STONE TYP.)

2 STANDARD ACCESS ROAD AND TURN-AROUND DETAIL
C4 NOT TO SCALE

REV: DATE: ISSUED FOR: BY:

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LICENSER:



KHA PROJECT NUMBER:

018985567

DRAWN BY: CHECKED BY:

KMP

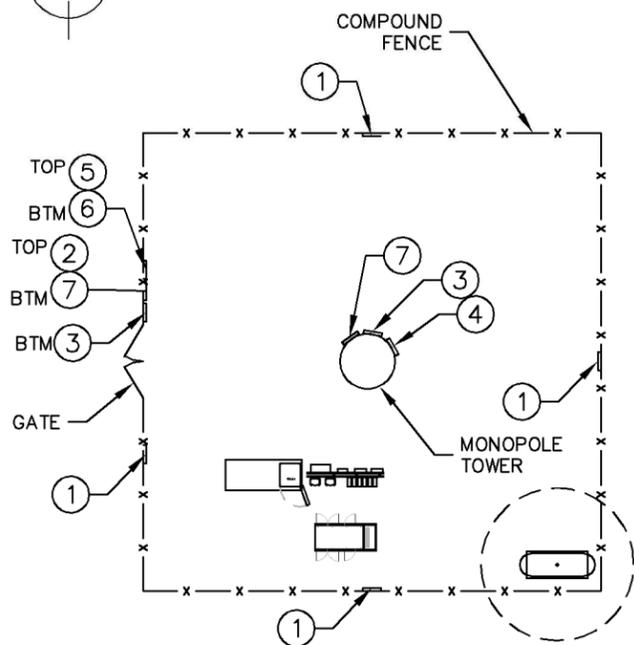
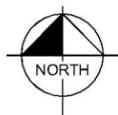
KAB

SHEET TITLE:

ACCESS ROAD
DETAILS

SHEET NUMBER:

C4

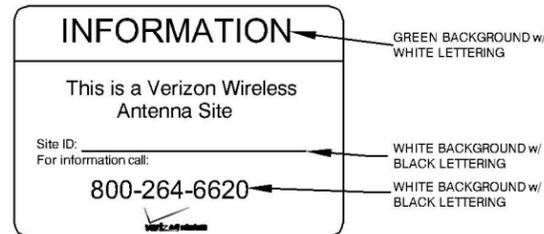


NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS
DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

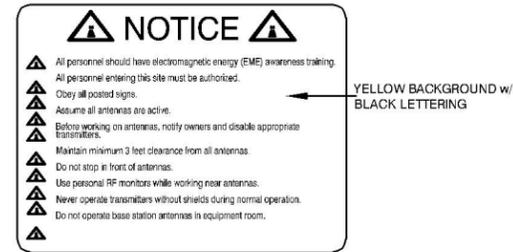
1
C5 SIGN PLACEMENT PLAN VIEW
NOT TO SCALE



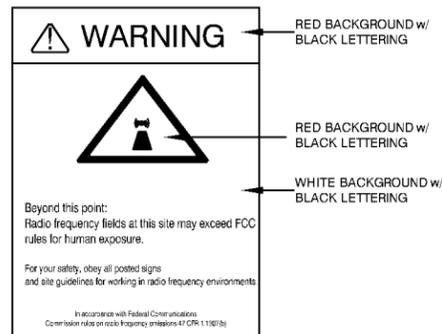
1 NO-TRESPASSING SIGN
18" HIGH X 24" WIDE
(OPERATIONS PROVIDED)



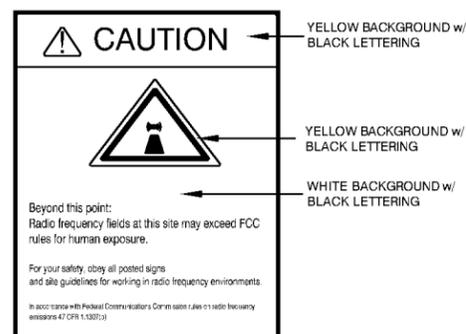
2 VERIZON WIRELESS - SITE ID SIGN
15" HIGH X 23" WIDE
(OPERATIONS PROVIDED)



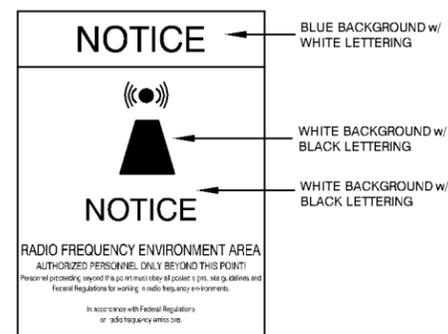
3 NOTICE-RFE SIGN
12" WIDE X 18" HIGH
(OPERATIONS PROVIDED)



4 WARNING-RF SIGN (RED)
12" WIDE X 18" HIGH



5 CAUTION-RF SIGN (YELLOW)
12" WIDE X 18" HIGH

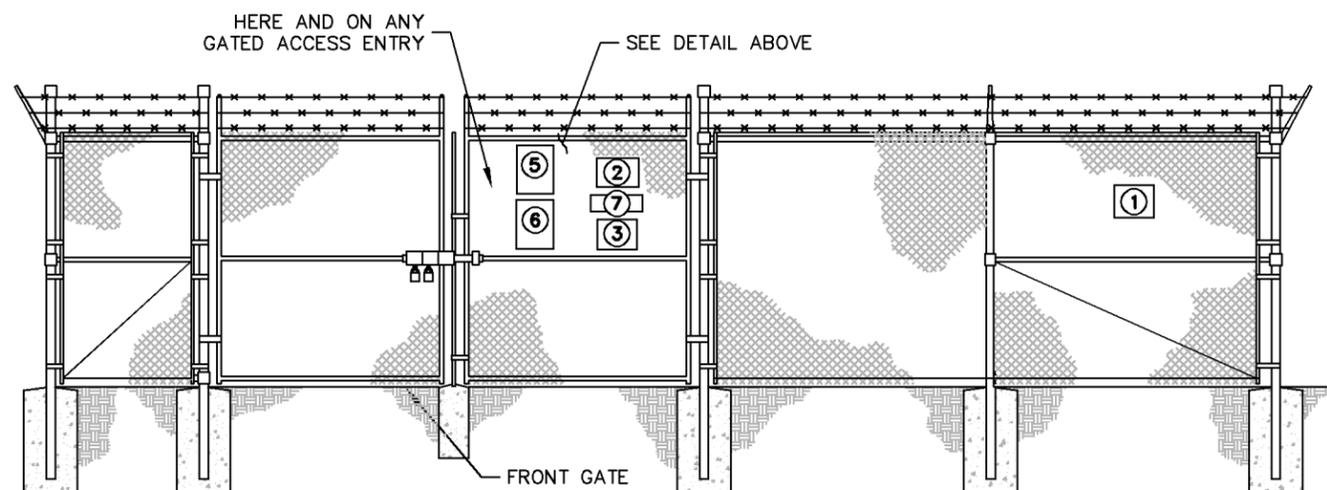


6 NOTICE-RF SIGN (BLUE)
12" WIDE X 18" HIGH



7 FCC REGISTRATION SIGN
20 WIDE X 4" HIGH

2
C5 TYPICAL SIGNS AND SPECIFICATIONS
NOT TO SCALE



3
C5 SIGN PLACEMENT FRONT GATE VIEW
NOT TO SCALE

SIGNAGE NOTES:
1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.



8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTA LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

PLANS PREPARED BY:

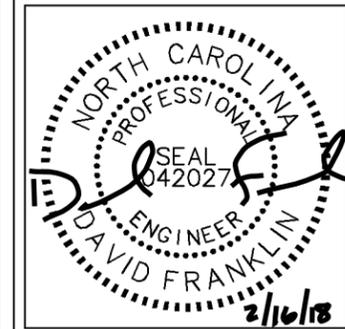


11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

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DRAWN BY: CHECKED BY:

KMP KAB

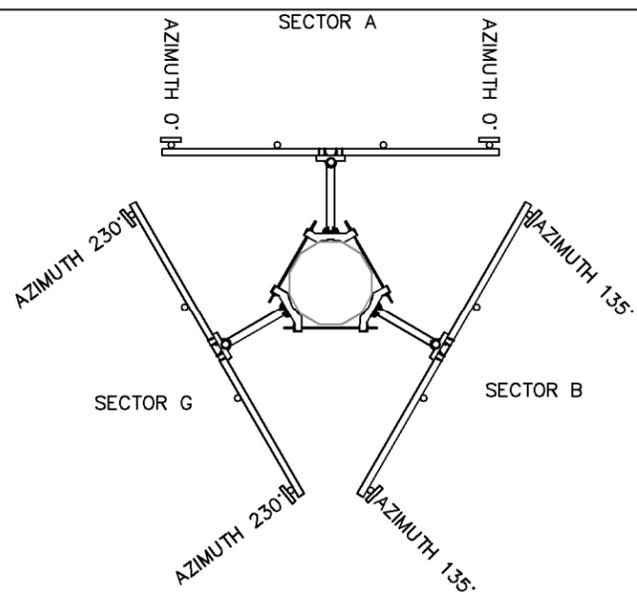
SHEET TITLE:

SITE SIGNAGE
DETAILS

SHEET NUMBER:

C5

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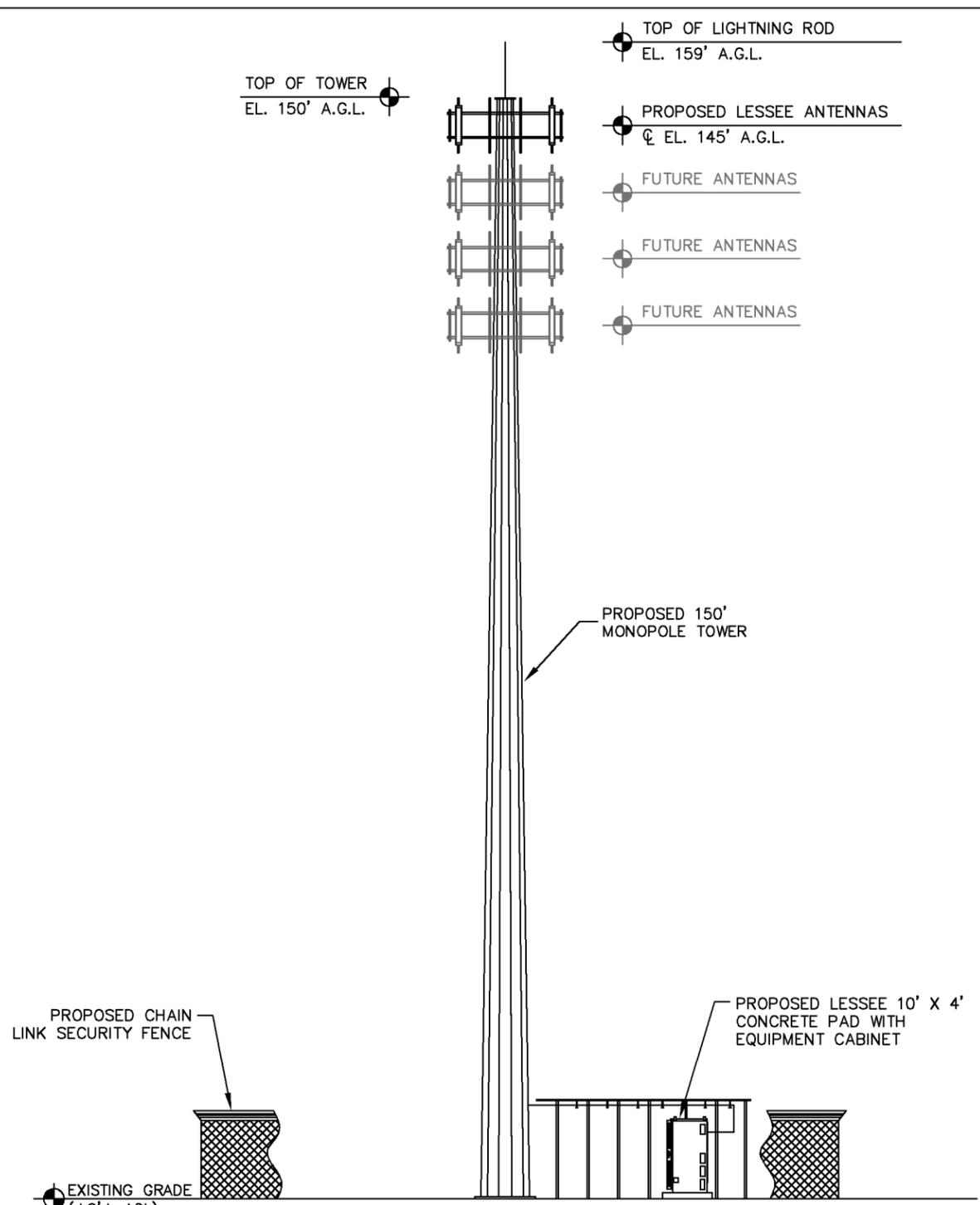


1 ANTENNA ORIENTATION PLAN
 (NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

ANTENNA SECTOR	AZIMUTH IN DEGREES	MECHANICAL DOWN TILT	LICENSED FREQUENCY	ANTENNA* (QTY) MAKE/MODEL	REMOTE RADIO UNIT	COMPOSITION CABLES			TOTAL HYBRID
						LENGTH	COAX QTY	COAX SIZE	
A1	0°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	2
			850			204'±	2	1 5/8"ø	
			1900			-	-	-	
A4	0°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	
			850			204'±	2	1 5/8"ø	
			2100			-	-	-	
B1	135°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	
			850			204'±	2	1 5/8"ø	
			1900			-	-	-	
B4	135°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	
			850			204'±	2	1 5/8"ø	
			2100			-	-	-	
G1	230°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	
			850			204'±	2	1 5/8"ø	
			1900			-	-	-	
G4	230°	0°	700	(1) COMMSCOPE/NHH-65C-R2B	RRUSB13	-	-	-	
			850			204'±	2	1 5/8"ø	
			2100			-	-	-	

NOTES:
 1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
 2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
 3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.

* CONTRACTOR TO INSTALL SIX(6) CBC78T-DS-43 DIPLEXERS AND ANY RAYCAP BOXES AS NECESSARY. VERIFY WITH VERIZON WIRELESS PROJECT MANAGER PRIOR TO CONSTRUCTION.



2 MONOPOLE TOWER ELEVATION - W VIEW (FACING E)
 NOT TO SCALE

- NOTES:**
1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
 2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
 3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
 4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.



PROJECT INFORMATION:
 SITE NAME: ELMDALE
 SITE No.: 443120
 PROJECT #: 2017156873
 1413 BRITTAY LANE
 BURLINGTON, NC 27215
 GUILFORD COUNTY

PLANS PREPARED BY:
Kimley»Horn
 11720 AMBER PARK DRIVE, SUITE 600
 ALPHARETTA, GA 30009
 PHONE: 770-619-4280
 WWW.KIMLEY-HORN.COM
 NC License F-0102

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LICENSER:
FOR ILLUSTRATIVE PURPOSES ONLY- NO SIGNATURE REQUIRED

KHA PROJECT NUMBER:
 018985567
 DRAWN BY: KMP CHECKED BY: KAB

SHEET TITLE:
ANTENNA AND TOWER ELEVATION DETAILS

SHEET NUMBER:
 C6

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PROJECT INFORMATION:

SITE NAME:
ELMDALE
SITE No.: 443120
PROJECT #: 2017156873
1413 BRITTAY LANE
BURLINGTON, NC 27215
GUILFORD COUNTY

PLANS PREPARED BY:

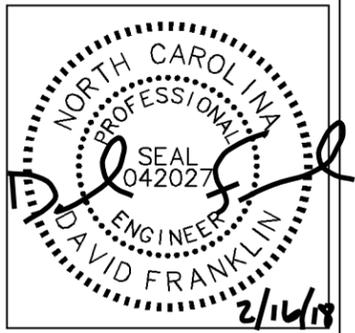
Kimley»Horn

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DRAWN BY: CHECKED BY:

KMP KAB

SHEET TITLE:

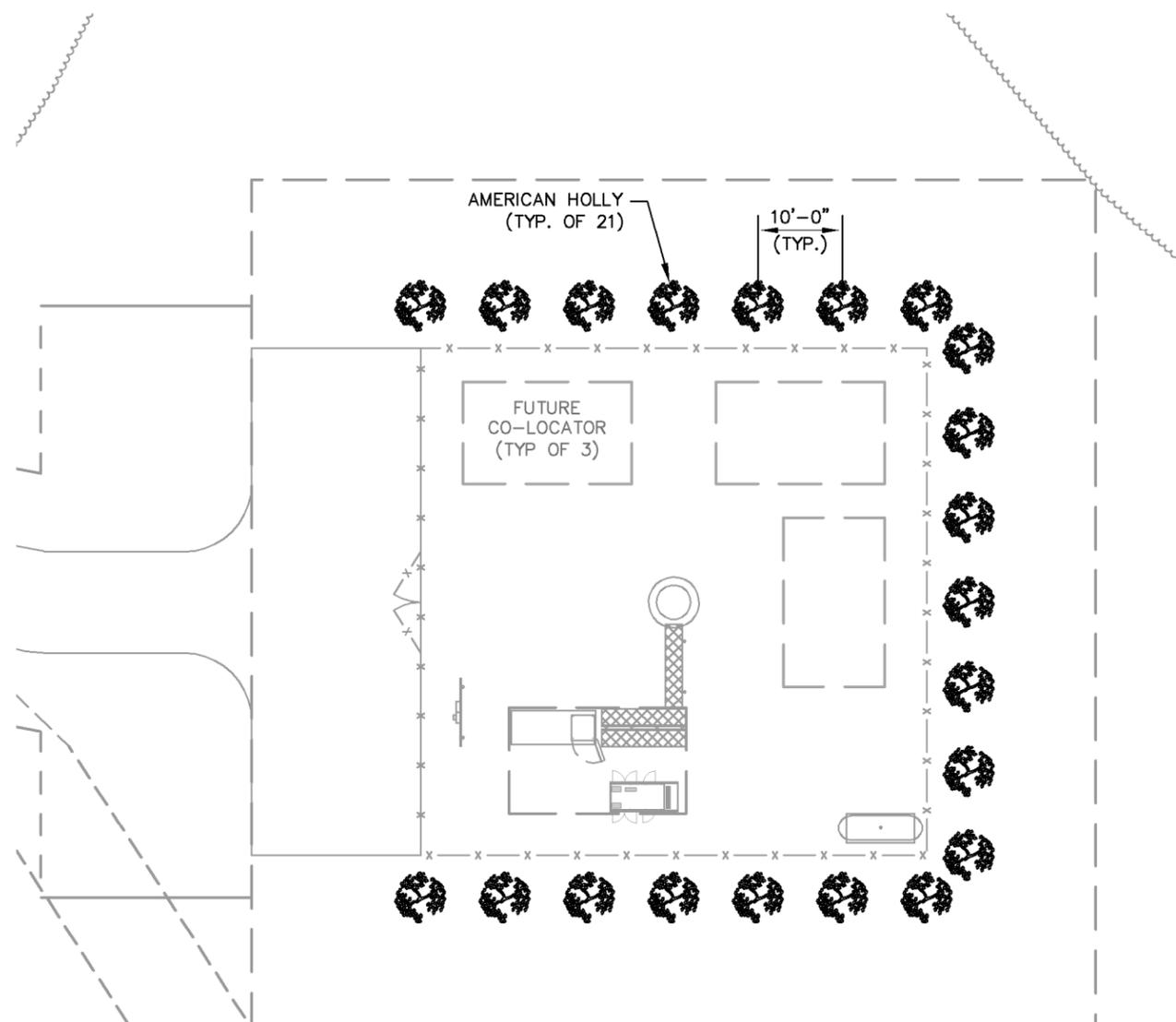
LANDSCAPING
PLAN AND NOTES

SHEET NUMBER:

L1

GENERAL LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS WORK WITH THAT OF ALL OTHER CONTRACTORS. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES. PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
2. THE QUALITY AND SIZE OF ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS AS SET FORTH IN ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
3. ALL DISTURBED AREAS NOT COVERED BY HARDSCAPE OR PLANT MATERIALS SHALL BE COVERED WITH SEED AND STRAW.
4. PLANT SUBSTITUTION MAY BE PERMITTED ONLY AFTER PROOF THAT SPECIFIED PLANTS ARE UNAVAILABLE AND THE REQUEST HAS BEEN SUBMITTED TO THE OWNER OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE THE NEAREST EQUIVALENT OBTAINABLE SIZE AND VARIETY OF THE PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS AS THE PLANT SPECIFIED
5. MINOR PLANT LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD TO ENSURE ACCESS TO UTILITY JUNCTION BOXES, FREE SITE LIGHTING OF FUTURE TREE CANOPY INTERFERENCE AND ALLOW UNINHIBITED PEDESTRIAN / VEHICULAR CIRCULATION ON ALL PAVEMENTS OR FOUNDATIONS.
6. ALL SHRUB MASSES OF TWO OR MORE SHALL BE EDGED INTO A PLANTING BED AND MULCHED PER DETAIL. ALL INDIVIDUAL TREES AND SHRUBS SHALL HAVE A MULCH SAUCER EQUAL IN DIAMETER TO THE PLANTING PIT DIAMETER AND SHALL BE MULCHED AS SHOWN ON THE DETAILS. UNLESS OTHERWISE INDICATED, ALL BED EDGES SHALL BE A DEEP CUT CLEAN SPADE EDGE.
7. THE CONTRACTOR SHALL VERIFY THAT EACH TREE OR SHRUB PIT WILL DRAIN BEFORE INSTALLING PLANT MATERIAL. HE SHALL FILL THE HOLE WITH SIX INCHES (6") OF WATER THAT SHOULD PERCOLATE OUT WITHIN TWENTY-FOUR HOURS. SHOULD ANY AREA NOT DRAIN PROPERLY, A PERFORATED DRAIN LINE SHALL BE INSTALLED, OR THE PLANTS RELOCATED.
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF HE ENCOUNTERS ANY UNSUITABLE SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, UTILITY LINES, OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS. SHOULD THE CONTRACTOR NOT NOTIFY THE OWNER OF A PROBLEM AREA, HE WARRANTS THAT THE AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF ALL PLANTS INSTALLED.
9. THE CONTRACTOR SHOULD VERIFY LANDSCAPING/TREE PLANTING LOCATIONS WITH THE PUBLIC UTILITIES DEPARTMENT TO AVOID CONFLICTS WITH WATER, SEWER, AND GAS LINES.
10. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT ADULT EGGS, PUPAE OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
11. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
12. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 10% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
13. THE TREE CANOPY SHOULD BE SYMMETRICAL AND FREE OF LARGE VOIDS. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS. CLEAR TRUNK SHALL BE OF SUFFICIENT HEIGHT TO CLEAR SURROUNDING USES THAT MAY BE IMPACTED BY THE FUTURE GROWTH OF THE TREE.
14. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO CONKS OR BLEEDING, AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
15. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.
16. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING OF THE SITE BY THE LOCAL ARBORIST.

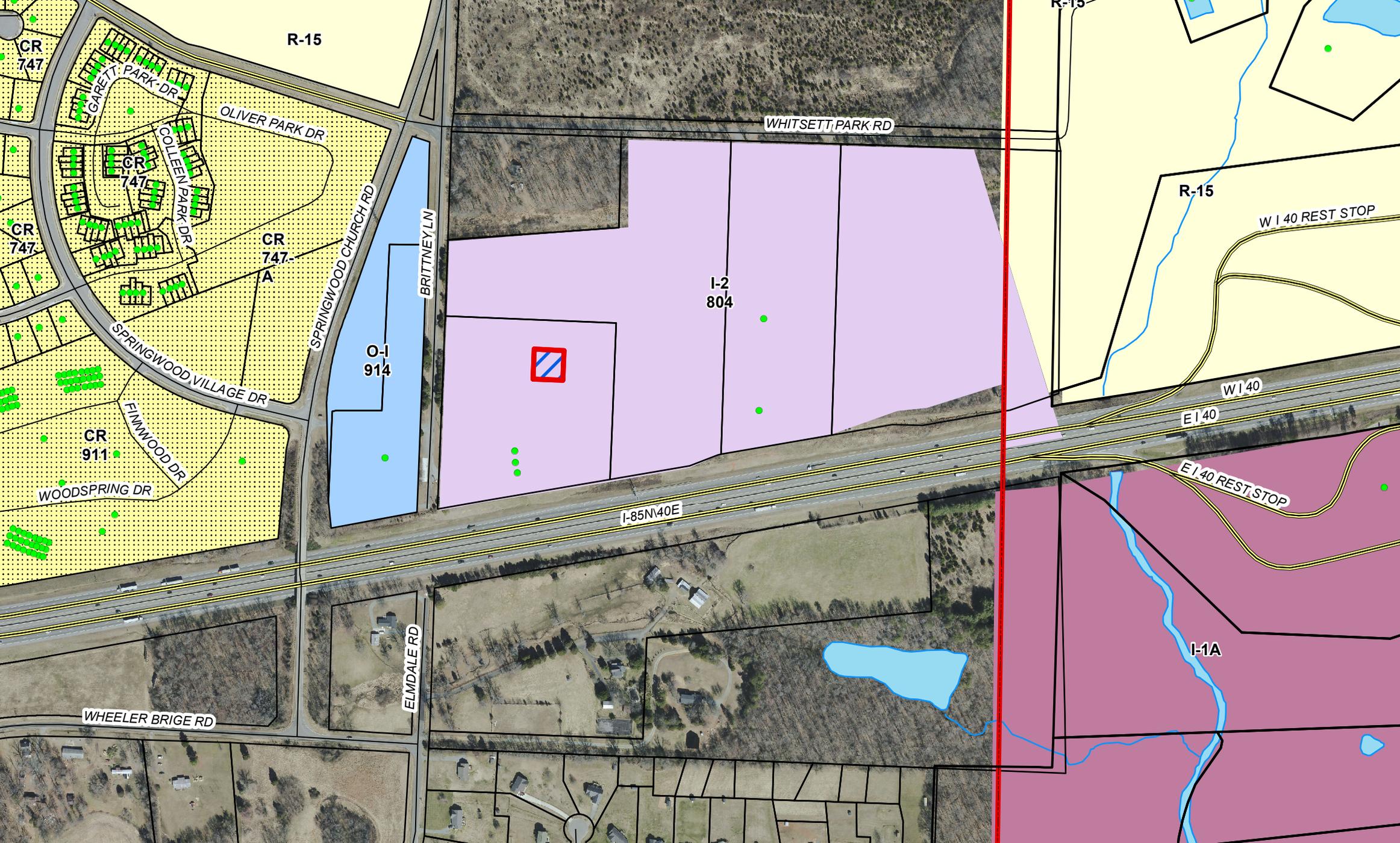


1 LANDSCAPING PLAN
L1 SCALE: 1" = 20'



LEGEND	
	AMERICAN HOLLY

PLANTING LIST						
SYM./KEY	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATION		
				ROOT	PLANTING HEIGHT	SPACING
TO	21	ILEX OPACA	AMERICAN HOLLY	B&B	3' MIN.	10' O.C.



R-15

CR 747

CR 747

CR 747

CR 911

I-2 804

O-I 914

I-85N40E

R-15

W I 40 REST STOP

W I 40

E I 40 REST STOP

I-1A

WHEELER BRIGE RD

ELMDALE RD

WHITSETT PARK RD

OLIVER PARK DR

SPRINGWOOD CHURCH RD

BRITNEY LN

SPRINGWOOD VILLAGE DR

FINWOOD DR

WOODSPRING DR

W I 40

E I 40