



BURLINGTON PLANNING AND ZONING COMMISSION

April 23, 2018 - 7:00 p.m.

Council Chamber, Burlington Municipal Building

CITY MEMBERS:

Richard Parker, Chairman
John Black, Vice-Chairman
Early Kenan, Jr.
Ryan Kirk
James Kirkpatrick
Nicole Enoch (Alternate)
Matthew Dobson (Alternate)

EXTRATERRITORIAL MEMBERS:

Earl Jagers
Bill Abplanalp

A G E N D A

ITEM NO. 1:

Call meeting to order.

ITEM NO. 2:

Approval of the minutes of the meeting held March 26, 2018.

ITEM NO. 3:

Mr. Lawson Brown to present an application to rezone from R-12 Residential District and O&I Office and Institutional District to CR-Conditional Residential District for the use of a 149 lot Single Family Subdivision. The property is located on the south side of Burlington Road (Highway 70) approximately 690 feet from Springwood Church Road, referenced as and being a portion of Guilford County parcel number 103339.

ITEM NO. 4:

Mr. Lawson Brown to present an application to rezone from R-15 Residential District to CR-Conditional Residential District for the use of a 241 lot Single Family Subdivision. The property is located at 1722 Shamrock Drive (currently Shamrock Golf Course), referenced as Alamance County tax identification number 130754.

ITEM NO. 5:

Commission to discuss an alternate date for the May 2018 meeting



**MINUTES OF THE BURLINGTON PLANNING
AND ZONING COMMISSION MEETING**

March 26, 2018

Council Chamber, Burlington Municipal Building

CITY MEMBERS:

Richard Parker, Present
John Black, Present
Early Kenan, Jr., Absent
Ryan Kirk, Absent
James Kirkpatrick, Present
Nicole Enoch (Alternate), Absent
Matthew Dobson (Alternate), Present

EXTRATERRITORIAL MEMBERS:

Earl Jagers, Present
Bill Abplanalp, Present

STAFF PRESENT:

Amy Nelson, Planning Director
Joey Lea, Zoning Administrator
Kelly Peele, Commission Secretary

ITEM NO. 1: Chairman Mr. Richard Parker called the meeting to order at 7:00 p.m.

ITEM NO. 2: Minutes of the meeting held February 26, 2018 were unanimously approved.

ITEM NO. 3 Mr. Carl Buckland to present an application to rezone from I-1A Planned Industrial Residential District to CI Conditional Industrial District for the use of an Inert Debris Recycling/Landfill and all uses allowed in the I-1A Planned Industrial Residential District. The properties are located on the south side of West Old Glencoe Road referenced as Alamance County tax map 12-50 lots 43 and 56.

Mr. Carl Buckland stated, I would like to give you a little bit of history on what we have been doing. Back in 2000 we had a storm of straight line winds that came through and it caused a lot of damage. The City of Burlington contracted with a company out of Florida to do the storm clean up and then the company out of Florida contracted with me to dispose of the debris that was pickup across the city. I got a permit from DENR, the Department of Environment and Natural Resources, which regulates everything I do out there. I got the permit and we finished the cleanup in 2000. We closed up in 2000 until 2003 when we had an ice-storm we opened back up when FEMA came in ad paid for the damage cleanup and after the cleanup we closed up again. In 2014 we had another ice-storm and we opened back up when FEMA came in and we took the storm debris from the State, the City, and Elon. At that time the market had gotten better for the mulch to be used as a boiler-fuel. We stated in 2014 grinding it up and selling it for boiler-fuel and I contracted with the City of Burlington to take it on a regular basis. The City of Burlington and Elon are my main customers. Since 2014 we have been grinding it up and selling it out for boiler-fuel. The 2 acres I had permitted for an LCID, Land Clearing and Inert Debris, we could bury that. With DENR we had approval to do 2 acres and when I wanted to expand, the recommendation from the representative from DENR said to expand over 2 acres there is a lot of engineering and approval process; he said you've got 29 acres there and if you split it in half you could get another 2 acres on the other parcel, that is what I've proceeded to do and I came to the

Planning Department to get the plat subdivided and also DENR is now requiring a letter from the City saying we are in compliance with any zoning regulations. This is what I needed from the City and I talked with Joey and he said what you have been doing for the past 18 years is not allowed in I-1A. What we are trying to do is get it to meet DENR regulations, I need to get DENR a letter from the Planning Department saying that we are in compliance with the zoning and we need to get your approval to continue with what we have been doing. I'm proud of what we are doing; we are taking waste product and turning it into a profit as well as doing an environmentally good thing. I brought along some pictures and if you look you can see a large tub grinder there and we are grinding the material and putting it in the semi-trailer to be sold. One of the big customers we sell to is Hurt up in Hurt Virginia to Dominion Power, which is about 60 miles that we are having to truck up there. They are using it as a substitute or mixing it with coal. As you can see on the pictures we keep a neat and clean place.

Commission Member Mr. Bill Abplanalp asked, do you compress the mulch to be burned?

Mr. Carl Buckland stated, no it is just ground up.

Commission Member Mr. Bill Abplanalp asked, are you going to ask DENR to permit the whole area?

Mr. Carl Buckland stated, no, just 2 acres. I own a total of 29 acres and at the end only 4 acres will be used for LCID, everything else will be ground and taken away.

Commission Member Mr. Bill Abplanalp asked, you don't have any plans for taking in cement?

Mr. Carl Buckland stated, we take cement, under DENR it is beneficial fill. You can put concert just about anywhere you want. I can be fined up to \$15,000 a day if I violate their rules.

Chairman Mr. Richard Parker asked, Joey, how was this allowed to go on for so long if the zoning didn't allow it?

Zoning Administrator Mr. Joey Lea stated, this came about and continued because of storm-debris and there had to be somewhere to put it. I'm not sure if anyone looked at the zoning and to be until this came up; I didn't even know it was back there because you can't see it from the road. I wasn't a part of this when it started but it was an emergency situation. It has continued on since then and the only reason we are here is because Mr. Buckland came in wanting to expand what he is doing.

Chairman Mr. Richard Parker stated, I wonder where all the debris went after the storm when collected by the City, thank you Carl for helping us out.

Vice-Chairman Mr. John Black stated, who regulates all this to make sure the environment is protected?

Mr. Carl Buckland stated, it's the North Carolina Department of Environmental Natural Resources, DENR.

Vice-Chairman Mr. John Black asked, is anything of the debris covered?

Mr. Carl Buckland stated, yes we do put it in layers. Part of this property is in a valley and I have put in \$42,000 worth of storm-drainage to divert any water away from this.

Vice-Chairman Mr. John Black asked, methane gas doesn't seem to be a concern for long term, leaves and mulch and things like that.

Mr. Carl Buckland stated, with DENR I have 3 different permits. One permit is the LCID that I can bury; one permit is for composting on another 2 acre site, then I have another permit for a 5 acre site that is designated for temporary disaster debris staging site. Should we have a natural disaster at this 5 acre site I can put any kind of disaster debris but then I have to remove it within 6 months. Let's say a tornado comes through and takes down a house. I can't bury the house but I can stage it at this 5 acre site then process it and remove it within 6 months or I'm fined by DENR. Fortunately we have never had to do that. This temporary site is used to just stock pile the storm debris.

Vice-Chairman Mr. John Black asked, long term there is no concern about methane?

Mr. Carl Buckland stated, no concern.

Vice-Chairman Mr. John Black asked, is there a buffer between the site and the surrounding properties.

Mr. Carl Buckland stated, can't do anything within 100 ft. of the property line and there are some trees along the back of the property where Keystone is developing.

Vice-Chairman Mr. John Black asked, have they addressed leaching over a long period of time into that wetland area?

Mr. Carl Buckland stated, no. We have put the storm-drains in and that carries the water from the plastic company across my property so any water that is coming down by the porousness of the material is going to soak in kind of like a sponge. I don't foresee there being a problem.

Vice-Chairman Mr. John Black asked, the portion in the back, is there going to be any machine operations back in the new area or is it all going to be done where it is at now?

Mr. Carl Buckland stated, it will remain where it is at.

Commission Member Mr. James Kirkpatrick stated, with my experience with DENR they are not going to let him get anywhere near any kind of water way, blue line stream.

Vice-Chairman Mr. John Black stated, you have blue line stream there and you have the Haw River feeding Jordan Lake on the other side and what I'm looking for is long term real estate effects and I just want to make sure that is being taken care of and looked into.

Commission Member Mr. James Kirkpatrick stated, I agree. DENR is tough. My question to you Mr. Buckland is have you received any NOV's, Notice of Violation, on this property?

Mr. Carl Buckland stated, in 18 years I have had 2 violations which we corrected. I get inspect at least 5 or 6 times a year. Even if we aren't there they will come and mail a notice saying they came by and inspected.

Commission Member Mr. James Kirkpatrick asked, how much stock pile do you have there for material besides the 5 acres of emergency stock pile for storm debris?

Mr. Carl Buckland stated, 2 acres is designated for the composting area which that is where we do our grinding and composting, then I have 2 acres that is permitted to bury, and then I have 5 acres for temporary disaster debris staging. To my knowledge I'm probably the only one in this area besides the land-field on Sandy Cross Road that has a temporary disaster staging area.

Commission Member Mr. James Kirkpatrick asked, your permit with DENR is contingent on buffer zones and what-not?

Mr. Carl Buckland stated, yes and it is 100 ft. buffer. I can't do anything within 100 ft. of the property line. I can't place or bury anything or any kind of operation within 100 ft. of the property line.

Commission Member Mr. Matthew Dodson asked, there's one lot with all these crisscross lines is that based on the need to have a designated area for the operations you have with DENR? So the future development could have other operations points?

Mr. Carl Buckland stated, the future development of the 2 areas to the left is virgin ground and the topography would not lend itself to bury in anything, it would be more suitable for putting buildings or something there.

Commission Member Mr. Matthew Dodson asked, that's one lot but just broken down like this because of environmental issues but that's all going to be rezoned conditional industrial?

Zoning Administrator Mr. Joey Lea stated, right; what you are looking at is actually 2 parcels. This is just a description of how Mr. Buckland plans on developing. As he said the landfill part will be on the right side but any future development of the property would not be acceptable because of the landfill itself. In the future he could develop this portion for uses allowed in the I-1A. It is already zoned I-1A but part of his condition is the uses allowed on the property will be allowed in I-1A as it is right now. So he could possible develop this for warehouses or something that would call for a building development other than a landfill.

Chairman Mr. Richard Parker asked, so the whole track is not going to be CI?

Zoning Administrator Mr. Joey Lea stated, the whole track is going to be rezoned Conditional Industrial. He is listing his uses for conditional to be the uses allowed in I-1A.

Planning Director Mrs. Amy Nelson stated, it will give him more flexibility.

Vice-Chairman Mr. John Black asked, Joey, on both sides of this parcel is R-9, have you heard from either of the owners on this?

Zoning Administrator Mr. Joey Lea stated, I have had 3 phones from the neighbors on this and they have no concerns or problems on this. The sign was up for 2 weeks prior to this meeting.

Commission Member Mr. James Kirkpatrick stated, I move we recommend approval of this item as an amendment to the Comprehensive Plan. Although inconsistent with the Plan, this request represents a needed change in the area, thus making this request reasonable and in the public interest. Commission Member Mr. Earl Jagers seconded this motion. The Commission unanimously voted to approve the rezoning.

There being no further business to discuss, the meeting was adjourned at 7:26 p.m.

Richard Parker, Chairman

John Black, Vice Chairman

Kelly Peele, Secretary



City of Burlington Zoning Staff Report Item #3

Applicant: Eastwood Homes representing Randy and Cheryl Ingle

Location: 782 Burlington Road (Highway 70)

PIN: 103339

Area: 46.5 acres

Current Zoning: O& I Office and Institutional District and R-12 Residential District

Proposed Zoning: CI Conditional Residential

Current Land Use: Single Family Dwelling

Zoning History: This property was annexed into the City on May 31, 2000 and was zoned R-15 Residential District. On May 20, 2003 the property was rezoned from R-15 Residential District to R-12 Residential District with a 400 foot portion along Burlington Road being rezoned to O&I Office Institutional District.

Adjacent Property Conditions:

Location	Zoning	Land Use	Land Use Plan
North	Outside of City Jurisdiction	Vacant / Residential	Outside of City Jurisdiction
South	Residential	City Park	Park / Open Space
East	Residential	Residential	Residential
West	Outside of City Jurisdiction	Agricultural /Residential	Outside of City Jurisdiction

Comprehensive Plan Consistency:

The Comprehensive Plan calls for the area to be Suburban Residential. The use of the property for a single family subdivision is consistent with the Comprehensive Land Use Plan

Staff Recommendation

The proposed single family subdivision is compatible with the Carson Farm subdivision adjacent to the east side of the property. It is also comparable in lot size and lot width

Staff recommends approval of the rezoning request.

CITY OF BURLINGTON PLANNING DEPARTMENT



Date Submitted April 3, 2018 **Fee/Receipt No.** \$750.00 / _____

Provide the required information as indicated below. Pursuant to the City of Burlington Zoning Ordinance, this application will not be processed until application fees are paid, the form below is completed and signed and all required maps and plans and documents have been submitted to the satisfaction of the Planning Department. Additional sheets for tax references, signatures and use and development conditions are attached.

Pursuant to Section 32.19 of the City of Burlington Zoning Ordinance, the undersigned hereby requests the City of Burlington to rezone the property listed below from R-12, O-I zoning district to CR zoning district for the following purpose: Development of approximately 46.551 acres of unimproved property into a maximum of 149 lots for the purpose of constructing single family homes thereon.

Said property is located on US Hwy 70 in Whitsett (Guilford County) between Springwood Church Road and Frissell Drive,
property is adjacent to the north of Springwood Park.

Being a total of 46.551 acres and further referenced on Alamance County or Guilford County Tax Maps as follows: (Additional space on Page 5)

Tax Map Guilford County REID 0103339, PIN 8834775066

Tax Map _____

Tax Map _____

Tax Map _____

Check one:

- The property requested for rezoning is an entire parcel or parcels as shown on the Alamance or Guilford County Tax Map.
- The property requested for rezoning is a portion of a parcel or parcels as shown on the Alamance or Guilford County Tax Map and a written legal description of the property and a map are attached.

Check one:

- Public services (i.e., water and sewer) are not requested or required.
- Public services (i.e., water and sewer) are requested or required.

Conditional rezoning requirements:

- Zoning Sketch Plan. A sketch plan illustrating proposed conditions and other pertinent information is required for all conditional rezoning requests. Sketch elements not illustrating proposed conditions are subject to subdivision and site plan review. Refer to Section 32.19 of the City of Burlington Zoning Ordinance for conditional rezoning requirements.
- Zoning Conditions. Use and/or development conditions must be provided. Complete Part II of this application. Refer to uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance.

CITY OF BURLINGTON PLANNING DEPARTMENT



USE CONDITIONS: Uses of the property shall be limited to the following uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) See attached Exhibit "A".
- 2) _____
- 3) _____
- 4) _____

DEVELOPMENT CONDITIONS: Development of the property shall occur in accordance with the following standards and requirements in addition to those specified in the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) See attached Exhibit "A".
- 2) _____
- 3) _____
- 4) _____

(Additional signature space on Page 5)

Property Owner's Signature

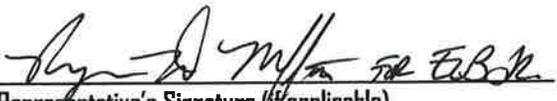
Randy and Cheryl Ingle
Property Owner's Name Printed

Name of Firm (if applicable)

1691-A Wheeler Bridge Road
Mailing Address

Burlington, NC 27215
City, State and Zip Code

336.202.2687
Area Code and Daytime Telephone Number


Representative's Signature (if applicable)

E. Lawson Brown, Jr.
Representative's Name Printed

Vernon Law Firm, P.A.
Name of Firm (if applicable)

P. O. Drawer 2958
Mailing Address

Burlington, NC 27216-2958
City, State and Zip Code

336.227.8851
Area Code and Daytime Telephone Number

Additional Tax Map References: (Continued from Page 3)

Further referenced on Alamance or Guilford County Tax Maps as:

Tax Map _____

Tax Map _____

Tax Map _____

Tax Map _____

Additional Signatures: (Continued from Page 4)

Bandy Ingle
Property Owner's Signature

BANDY Ingle
Property Owner's Name Printed

Name of Firm (if applicable)

1691-A Wheeler Bridge Rd
Mailing Address

Burlington NC 27215
City, State and Zip Code

~~772~~ 336 263-0828
Area Code and Daytime Telephone Number

Representative's Signature (if applicable)

Representative's Name Printed

Name of Firm (if applicable)

Mailing Address

City, State and Zip Code

Area Code and Daytime Telephone Number

Cheryl Ingle
Property Owner's Signature

CHERYL INGLE
Property Owner's Name Printed

Name of Firm (if applicable)

1691 A Wheeler Bridge Rd
Mailing Address

Burlington NC 27215
City, State and Zip Code

336 202 2687
Area Code and Daytime Telephone Number

Representative's Signature (if applicable)

Representative's Name Printed

Name of Firm (if applicable)

Mailing Address

City, State and Zip Code

Area Code and Daytime Telephone Number

EXHIBIT "A"

CITY OF BURLINGTON PLANNING DEPARTMENT
DEVELOPMENT CONDITIONS

For
EASTWOOD HOMES – INGLE PROPERTY

Applicant: EASTWOOD HOMES
Property Owner: Randy and Cheryl Ingle

USE CONDITION:

1. Eastwood Homes will develop the property for single-family residential use containing a maximum of 149 lots on 46.551 acres.

DEVELOPMENT CONDITIONS:

1. Minimum lot size will be 9,000 square feet.
2. Minimum lot width will be 65 feet at building line.
3. Building setbacks will be 20 feet at the front and rear, and 7.5 feet on the sides.
4. Developer shall construct a landscape buffer on City of Burlington Springwood Park Property bordering the Development to the south. The landscape buffer shall be designed per City of Burlington Parks and Recreation Department requirements. The landscape buffer shall be installed within one year from the date of issuance of the first building permit.
5. Developer shall construct a right-of-way stub-out for connectivity between the Development and the property to the immediate west of the Development, as indicated on the Plan.
6. Development shall meet all NCDOT requirements along Burlington Road (Highway 70).
7. Developer shall provide a 20-foot access easement between the Development and Springwood Park, with a 10-foot asphalt multi-use pathway with bollard(s) to be constructed within the access easement, as indicated on the Plan.

MEMORANDUM

To: City of Burlington Planning Department;
City of Burlington Planning and Zoning Commission;
Burlington City Council

From: E. Lawson Brown, Jr., Vernon Law Firm, P.A., on behalf of Eastwood Homes,
Applicant, and Randy Lynn and Cheryl Ingle, Property Owners

Re: Conditional Rezoning Application for Guilford County Parcel No. 8834775066

Date: April 3, 2018

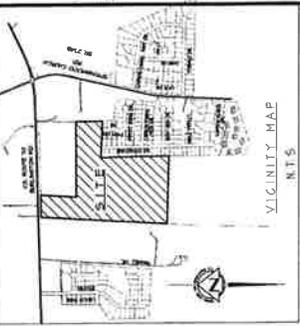
This Memorandum is submitted as a supplement to the Applicant's Conditional Rezoning Application submitted of the same date hereof to address two conditions which calls for slight deviations from the setback and lot width requirements under the R-9 Residential Zoning Ordinance.

The Applicant is seeking approval of proposed building setbacks of 20 feet in the front and rear, and 7.5 feet on the sides (as opposed to the ordinance setbacks of 35-foot front, 25-foot rear, and 10-foot sides), and typical lot widths of 65 feet (as opposed to the R-9 minimum of 75 feet).

The proposed plan calls for the development of a maximum of one hundred forty-nine (149) lots with a minimum lot size of 9,000 square feet and minimum lot width of 65 feet, with general lot dimensions of 65-feet-wide by 140-feet-deep. In this way, despite the reduced width, the R-9-required 9,000-square-foot minimum lot size is preserved. These slight deviations are necessitated by the fact that the property must accommodate a stream that runs north and south through the middle of the proposed development, requiring concessions in the form of a required stream buffer and at least one stormwater BMP device that will be required as part of the development plan. The product that the Applicant is proposing to construct for this development is generally between 2,000 and 3,400 heated square feet, depending on the floor plans that are selected for construction on the lots. With the reduced lot width, the smaller setbacks will be necessary to accommodate this larger, premium single-family home offering, while optimizing use of space in order to meet expected demand for the particular product being offered by the Applicant. Moreover, the lot and building sizes in the proposed development will be comparable to the adjacent single family development to the immediate east, as well as the other single family developments in the immediate area.

PROPERTY EXHIBIT FOR:
EASTWOOD HOMES
 1202 REAR BURLINGTON ROAD
 ROCK CREEK TOWNSHIP, GUILFORD COUNTY
 BURLINGTON, NORTH CAROLINA

PROPERTY EXHIBIT
 PLAN SHEET NO. **C-1685**



EXISTING ZONING

ZONE	R-10 (RESIDENTIAL, SINGLE-FAMILY)
MIN. STREET WIDTH	30 FEET
MIN. SIDE YARD SETBACK	5 FEET
MIN. REAR YARD SETBACK	5 FEET

PROPOSED ZONING

ZONE	RS (OFFICE PROFESSIONAL, SINGLE-FAMILY)
MIN. STREET WIDTH	30 FEET
MIN. SIDE YARD SETBACK	5 FEET
MIN. REAR YARD SETBACK	5 FEET

SITE INFORMATION

46.551 ACRES
 (2,027,146.40 SF)

TOTAL AREA:
 PARCEL 10
 PARCEL 11
 ZONED REFERENCE
 PLAT REFERENCE

MISCELLANEOUS NOTES

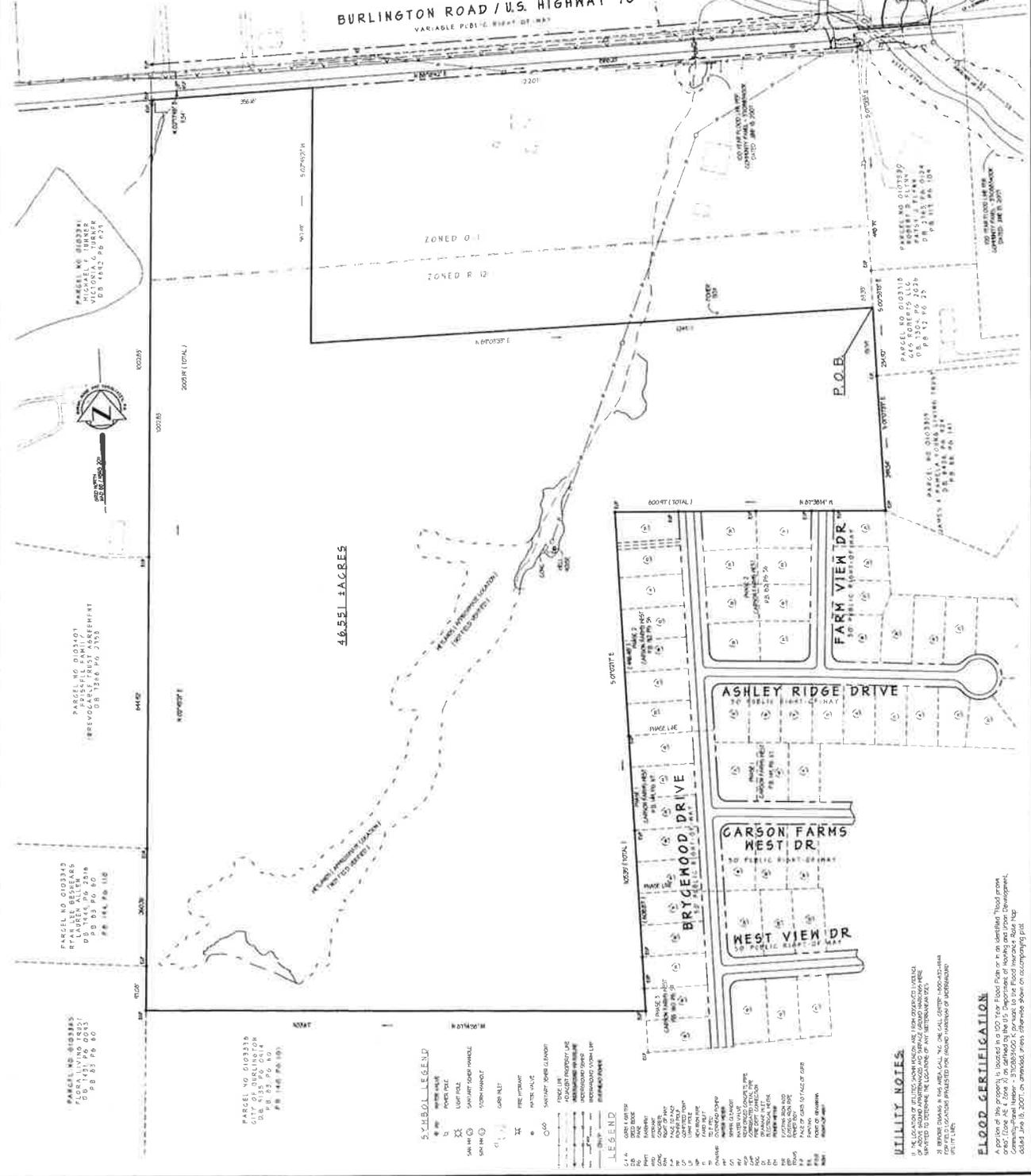
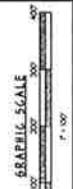
1. ALL DISTANCES ARE MEASURED FROM CORNERS TO CORNERS UNLESS OTHERWISE NOTED.

2. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

3. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

4. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

5. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.



SYMBOL LEGEND

1/4"	CONCRETE
1/8"	ASPHALT
1/16"	GRAVEL
1/32"	GRAVEL
1/64"	GRAVEL
1/128"	GRAVEL
1/256"	GRAVEL
1/512"	GRAVEL
1/1024"	GRAVEL
1/2048"	GRAVEL
1/4096"	GRAVEL
1/8192"	GRAVEL
1/16384"	GRAVEL
1/32768"	GRAVEL
1/65536"	GRAVEL
1/131072"	GRAVEL
1/262144"	GRAVEL
1/524288"	GRAVEL
1/1048576"	GRAVEL
1/2097152"	GRAVEL
1/4194304"	GRAVEL
1/8388608"	GRAVEL
1/16777216"	GRAVEL
1/33554432"	GRAVEL
1/67108864"	GRAVEL
1/134217728"	GRAVEL
1/268435456"	GRAVEL
1/536870912"	GRAVEL
1/1073741824"	GRAVEL
1/2147483648"	GRAVEL
1/4294967296"	GRAVEL
1/8589934592"	GRAVEL
1/17179869184"	GRAVEL
1/34359738368"	GRAVEL
1/68719476736"	GRAVEL
1/137438953472"	GRAVEL
1/274877906944"	GRAVEL
1/549755813888"	GRAVEL
1/1099511627776"	GRAVEL
1/2199023255552"	GRAVEL
1/4398046511104"	GRAVEL
1/8796093022208"	GRAVEL
1/1759218644416"	GRAVEL
1/3518437288832"	GRAVEL
1/7036874577664"	GRAVEL
1/14073749155328"	GRAVEL
1/28147498310656"	GRAVEL
1/56294996621312"	GRAVEL
1/112589993226624"	GRAVEL
1/225179986453248"	GRAVEL
1/450359972906496"	GRAVEL
1/900719945812992"	GRAVEL
1/1801439891625984"	GRAVEL
1/3602879783251968"	GRAVEL
1/7205759566503936"	GRAVEL
1/14411519133007872"	GRAVEL
1/28823038266015744"	GRAVEL
1/57646076532031488"	GRAVEL
1/11529215306406896"	GRAVEL
1/23058430612813792"	GRAVEL
1/46116861225627584"	GRAVEL
1/92233722451255168"	GRAVEL
1/184467444902510336"	GRAVEL
1/368934889805020672"	GRAVEL
1/737869779610041344"	GRAVEL
1/1475739592220082688"	GRAVEL
1/2951479184440165376"	GRAVEL
1/5902958368880330752"	GRAVEL
1/11805916737760661504"	GRAVEL
1/23611833475521323008"	GRAVEL
1/47223666951042646016"	GRAVEL
1/94447333902085292032"	GRAVEL
1/188894667841704584064"	GRAVEL
1/377789335683409168128"	GRAVEL
1/755578671366818336256"	GRAVEL
1/151115734273363672512"	GRAVEL
1/302231468546727345024"	GRAVEL
1/604462937093454690048"	GRAVEL
1/1208925874186909380096"	GRAVEL
1/2417851748373818760192"	GRAVEL
1/4835703496747637520384"	GRAVEL
1/9671406993495275040768"	GRAVEL
1/19342813986984550801536"	GRAVEL
1/38685627973969101603072"	GRAVEL
1/77371255947938203206144"	GRAVEL
1/15474251189476446412288"	GRAVEL
1/30948502378952892824576"	GRAVEL
1/61897004757905785649152"	GRAVEL
1/12379400951581155298304"	GRAVEL
1/247588019031623111596608"	GRAVEL
1/495176038063246223193216"	GRAVEL
1/990352076126492446386432"	GRAVEL
1/198070415252984892772864"	GRAVEL
1/396140830505969785544512"	GRAVEL
1/792281661011939571089024"	GRAVEL
1/1584563322023879437178048"	GRAVEL
1/3169126644047758874356096"	GRAVEL
1/6338253288095517748712192"	GRAVEL
1/1267650657619103549742384"	GRAVEL
1/2535301315238207099484768"	GRAVEL
1/5070602630476414198969536"	GRAVEL
1/1014120526095282839733872"	GRAVEL
1/2028241052190565679467744"	GRAVEL
1/4056482104381131358935488"	GRAVEL
1/8112964208762262717870976"	GRAVEL
1/16225928415524525435741536"	GRAVEL
1/32451856831049050871482784"	GRAVEL
1/64903713662098101742975552"	GRAVEL
1/12980742724197620348595104"	GRAVEL
1/25961485443995240697190208"	GRAVEL
1/51922970887990481394380416"	GRAVEL
1/10384594175	

City of Burlington
Zoning & Parcel
Information System



City of Burlington
GIS Division

Last Update:
June 02, 2009

Legend

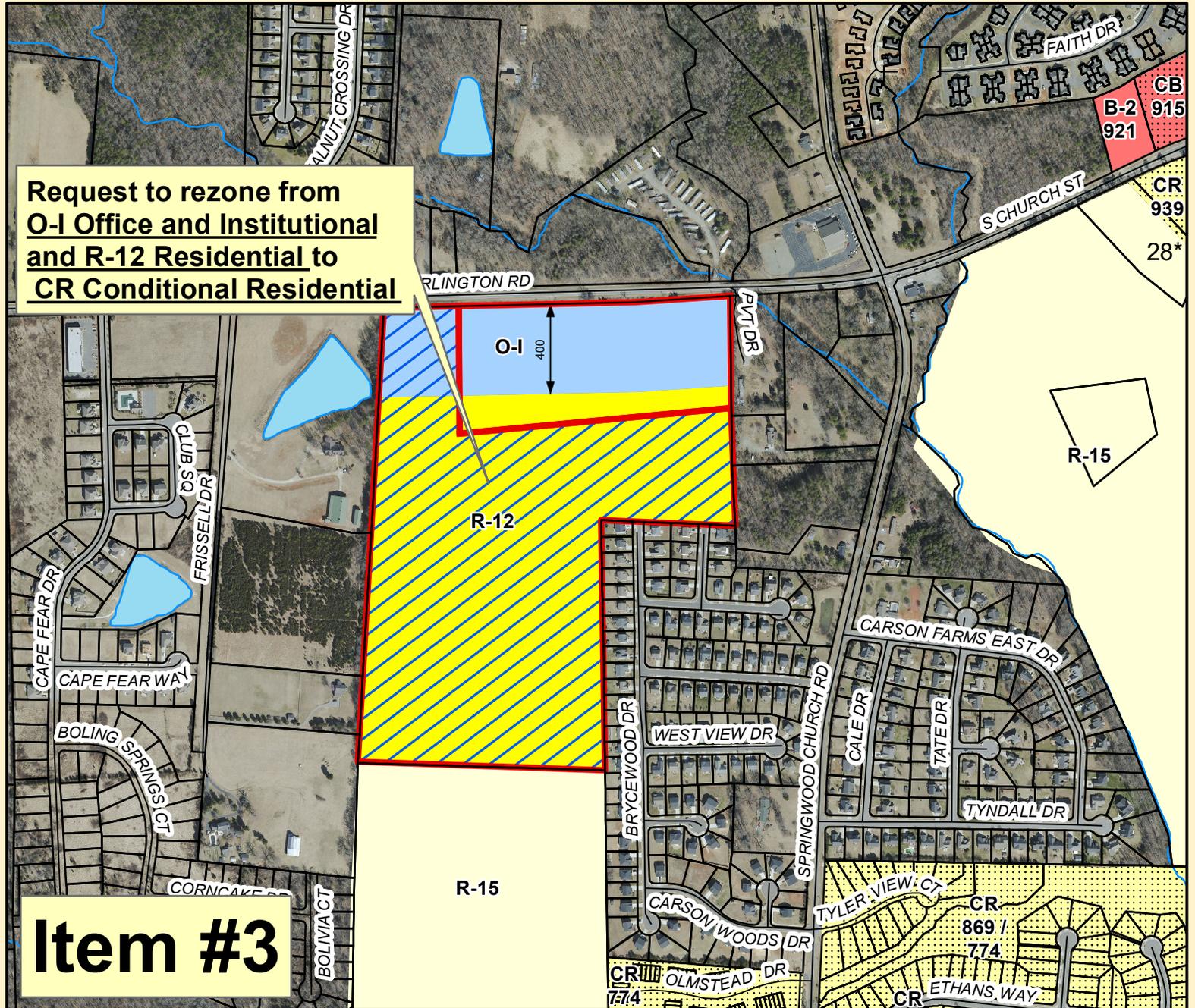
Zoning

	B-1		I-3
	B-2		MF-A
	B-3		MF-B
	CB		O-I
	CI		RO-I
	CMX-C		CPEC
	CMX-R		R-6
	CO-I		R-9
	CR		R-12
	I-1		R-15
	I-1A		R-30
	I-2		R-M



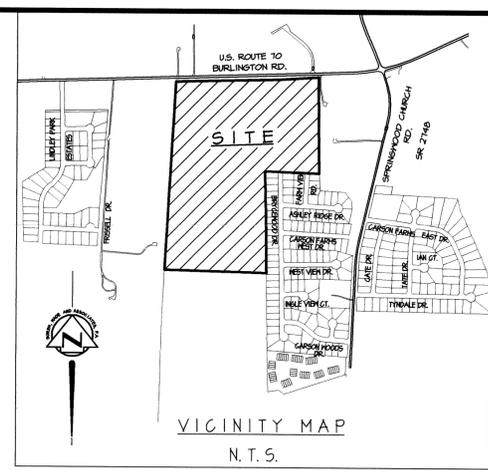
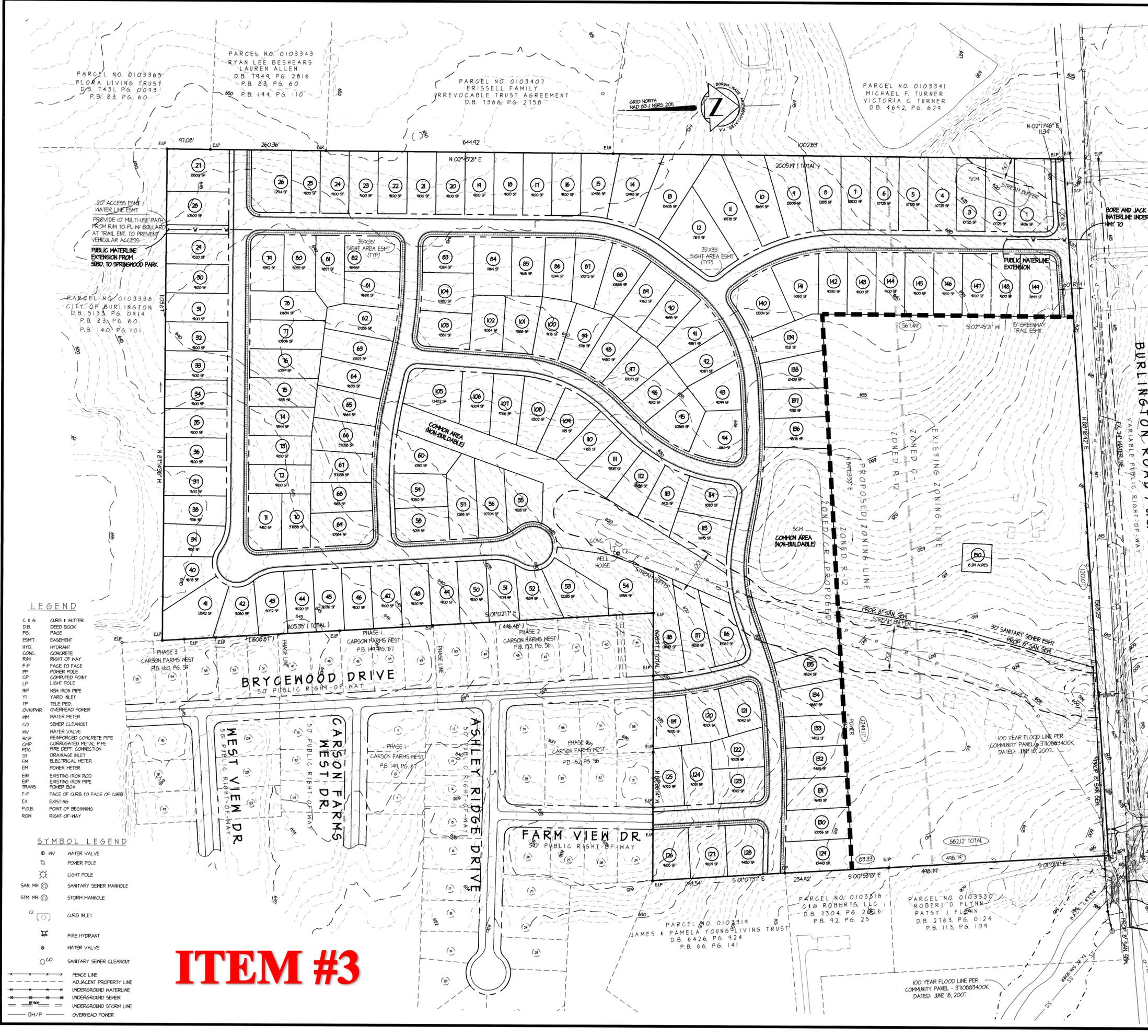
1 inch = 646 feet

**Request to rezone from
O-I Office and Institutional
and R-12 Residential to
CR Conditional Residential**



Item #3

Disclaimer:
This map was compiled from the GIS resources of the Burlington Regional GIS Partnership for public planning and agency support purposes. These resources include public information sources of different scale, time, origin, definition and accuracy, which aspects produce inconsistencies among features represented together on this map. Neither the City of Burlington nor the Partnership shall be held liable for any errors in this map or supporting data. Primary public information sources from which this map was compiled, in conjunction with field surveys where required, must be consulted for the verification of the information contained within this map.



SITE INFORMATION

NUMBER OF LOTS: 144 MAXIMUM SF LOTS
 TOTAL AREA: 46.551± ACRES

PARCEL ID: 0103334
 PARCEL PIN: 883475066
 DEED REFERENCE: D.B. 4851, P.6 212
 FLAT REFERENCE: P.B. 140, P.6 101

ZONING INFORMATION

ZONING: CR (PROPOSED)

USE CONDITIONS

1. EASTWOOD HOMES WILL DEVELOP THE PROPERTY FOR SINGLE-FAMILY RESIDENTIAL USE CONTAINING A MAXIMUM OF 144 LOTS ON 46.551 ACRES.

DEVELOPMENT CONDITIONS

- MINIMUM LOT SIZE WILL BE 9,000 SQUARE FEET.
- MINIMUM LOT WIDTH WILL BE 65 FEET AT BUILDING LINE.
- BUILDING SETBACKS WILL BE 20 FEET AT THE FRONT AND REAR, AND 15 FEET ON THE SIDES.
- DEVELOPER SHALL CONSTRUCT A LANDSCAPE BUFFER ON CITY OF BURLINGTON SPRINGWOOD PARK PROPERTY BORDERING THE DEVELOPMENT TO THE SOUTH. THE LANDSCAPE BUFFER SHALL BE DESIGNED PER CITY OF BURLINGTON PARKS AND RECREATION DEPARTMENT REQUIREMENTS. THE LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN ONE YEAR FROM THE DATE OF ISSUANCE OF THE FIRST BUILDING PERMIT.
- DEVELOPER SHALL CONSTRUCT A RIGHT-OF-WAY STUB-OUT FOR CONNECTIVITY BETWEEN THE DEVELOPMENT AND THE PROPERTY TO THE IMMEDIATE WEST OF THE DEVELOPMENT, AS INDICATED ON THE PLAN.
- DEVELOPMENT SHALL MEET ALL NCDOT REQUIREMENTS ALONG BURLINGTON ROAD (HIGHWAY 10). DEVELOPER SHALL PROVIDE A 20-FOOT ACCESS EASEMENT BETWEEN THE DEVELOPMENT AND SPRINGWOOD PARK, WITH A 10-FOOT ASPHALT MULTI-USE PATHWAY WITH BOLLARDS(15) TO BE CONSTRUCTED WITHIN THE ACCESS EASEMENT, AS INDICATED ON THE PLAN.

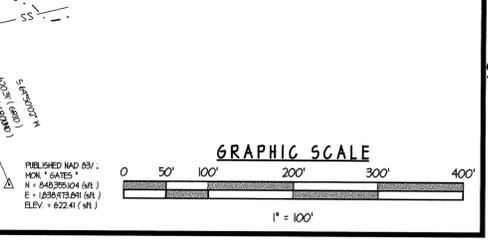
GENERAL NOTES

- CURBS TO BE INSTALLED AS PER CITY OF BURLINGTON STANDARDS.
- PUBLIC ROAD IMPROVEMENTS TO BE PROVIDED ALONG HWY. 10 AS PER NCDOT REQUIREMENTS FOR THE DRIVEWAY PERMIT.
- SANITARY SEWER EXTENSION TO BE COORDINATED WITH NCDOT, CITY OF BURLINGTON AND ADJACENT PROPERTY OWNER.
- BOUNDARY INFORMATION TAKEN FROM FIELD SURVEY BY BORUM, WADE AND ASSOCIATES.
- TOPOGRAPHIC INFORMATION TAKEN FROM NC STATE LIDAR INFORMATION.
- EXISTING UTILITY INFORMATION TAKEN FROM A COMBINATION OF EXISTING MAPS, AND FIELD SURVEY DATA (NO UNDERGROUND UTILITY LOCATOR USED FOR THIS MAP).
- ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF BURLINGTON SPECIFICATIONS AND DETAILS.
- ALL SIDEWALKS AND MULTI-USE PATHS SHALL BE ADA COMPLIANT WITH RAMPS AT INTERSECTIONS AND OTHER APPROPRIATE PLACES TO BE DETERMINED ON THE DETAILED SITE PLAN.

ENGINEERING NOTES

THE FOLLOWING REQUIREMENTS SHALL BE MET PRIOR TO THE CITY ISSUING AN REQUIRED BUILDING PERMITS, WITH THE EXCEPTION OF SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. CONTACT THE CITY OF BURLINGTON ENGINEERING DEPT. WITH ANY QUESTIONS 336-222-5050.

- ALL DEVELOPMENT FEES ASSOCIATED WITH THE WATER AND SEWER CONNECTIONS FOR THE SITE, ARE REQUIRED TO BE PAID.
- ALL REQUIRED EASEMENT AND RIGHT-OF-WAY DEDICATION FOR THE COMPLETION OF THE PROJECT MUST BE RECORDED.
- ALL LAND DISTURBING ACTIVITY, REGARDLESS OF AREA OF DISTURBANCE, MUST COMPLY WITH THE CITY OF BURLINGTON LAND DISTURBING ORDINANCE. FOR ALL SITES LESS THAN 1 ACRE DISTURBANCE, PLANS AND DETAILS OF RETAIN SEDIMENT ON-SITE MUST BE SUBMITTED THROUGH TRC FOR REVIEW. AREAS GREATER THAN 1 ACRE DISTURBANCE, REQUIRE A SEPARATE LAND DISTURBING PERMIT SUBMITTED THROUGH THE CITY OF BURLINGTON ENGINEERING DEPARTMENT, FROM TRC APPROVAL. ALL SITE PLANS ARE REQUIRED TO DELINEATE THE INTENDED AREAS OF DISTURBANCE. ALL SITES INTENDING TO DISTURB LESS THAN 1 ACRE ARE REQUIRED TO SUBMIT A "CERTIFICATION OF INTENT TO DISTURB LESS THAN 1 ACRE" STATEMENT TO GAIN TRC APPROVAL AND MUST SHOW EROSION AND SEDIMENT CONTROL MEASURES.



BWA Engineers
 Planners
 Surveyors

Borum, Wade and Associates, P.A.

621 Engine Court, Suite 100, Greensboro, NC 27401-7711
 PO Box 21883 Greensboro, NC 27420-1882
 Phone: 336-275-0471 Fax: 336-275-3719
 Web: www.borum-wade.com
 N.C. License #: C-0868

SEALS:

Professional Engineer Seal
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL
 4/3/2018

VERONA SUBDIVISION
 1282 REAR BURLINGTON ROAD
 ROCK CREEK TOWNSHIP, GUILFORD COUNTY
 BURLINGTON, NORTH CAROLINA

DEVELOPER:
 EASTWOOD HOMES
 6601 SIX FORKS ROAD, SUITE 100
 RALEIGH, NC 27615

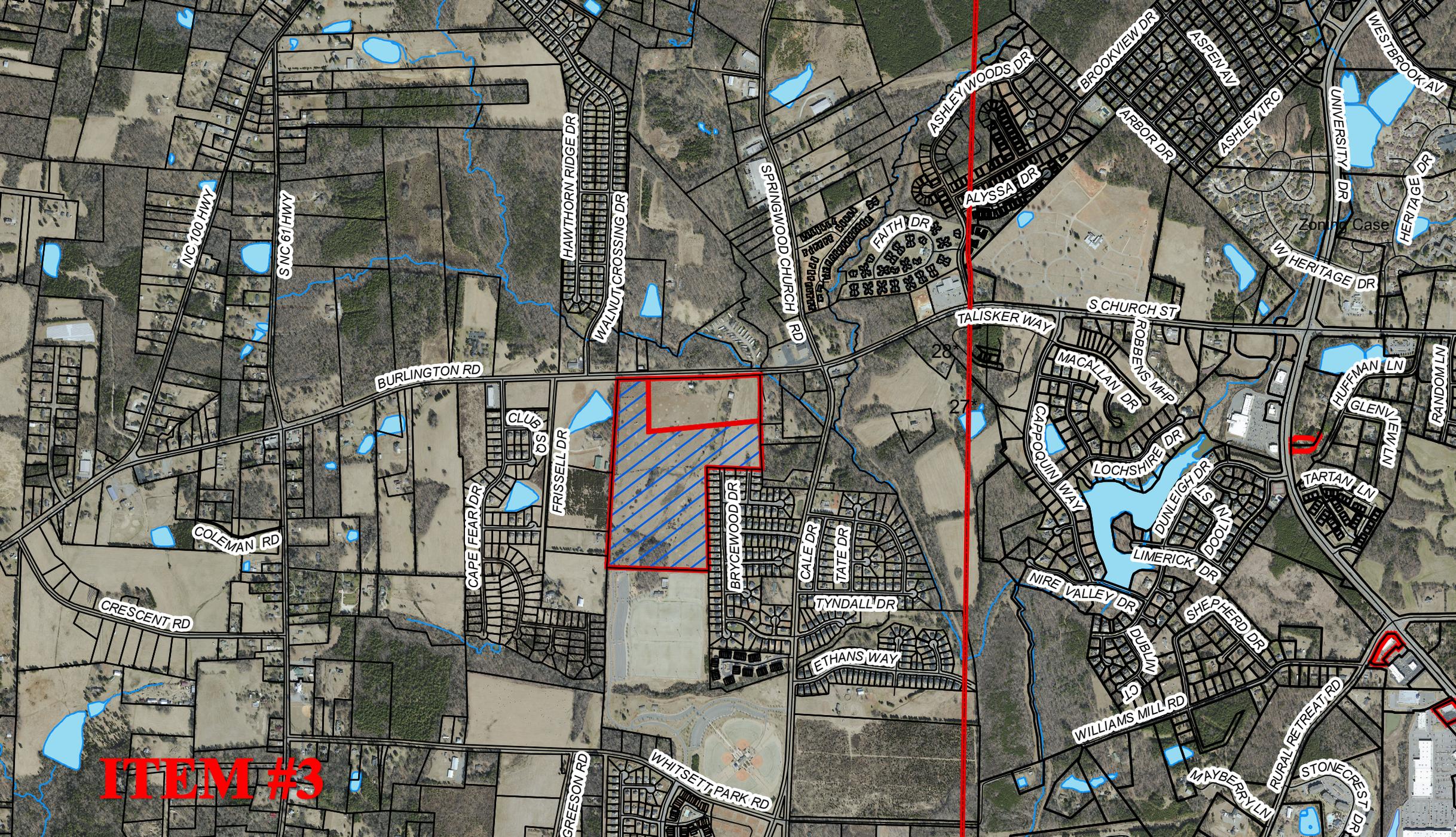
DRAWN BY: JSM
 DATE: MARCH 14, 2018
 REVISIONS:
 TRC COMMENTS - APRIL 3, 2018

SHEET TITLE:
**ZONING SKETCH
 SUBDIVISION PLAN**

FILE NO: F:\EASTWOOD\HWY 10 BOUNDARY
 DRAWING SCALE: 1"=100'
 PLAN SHEET NO:

ITEM #3

- LEGEND**
- C 1 G CURB & GUTTER
 - D.B. DEED BOOK
 - PS. PAGE
 - ESMT. EASEMENT
 - HYD. HYDRANT
 - CONC. CONCRETE
 - R/W. RIGHT OF WAY
 - F.F. FACE TO FACE
 - CP. COMPUTED POINT
 - LP. LIGHT POLE
 - NIP. NEW IRON PIPE
 - YI. YARD INLET
 - TE. TELE. PED.
 - OVHPWR. OVERHEAD POWER
 - WM. WATER METER
 - SC. SEWER CLEANOUT
 - CO. WATER VALVE
 - RV. REINFORCED CONCRETE PIPE
 - CMP. CORRUGATED METAL PIPE
 - FDC. FIRE DEPT. CONNECTION
 - DI. DRAINAGE INLET
 - EM. ELECTRICAL METER
 - PM. POWER METER
 - EIR. EXISTING IRON ROD
 - EIP. EXISTING IRON PIPE
 - TRANS. TRANSFORMER
 - F-F. FACE OF CURB TO FACE OF CURB
 - EX. EXISTING
 - P.O.B. POINT OF BEGINNING
 - R.O.M. RIGHT-OF-WAY
- SYMBOL LEGEND**
- WV. WATER VALVE
 - PP. POWER POLE
 - LP. LIGHT POLE
 - SMH. SANITARY SEWER MANHOLE
 - STM. STORM MANHOLE
 - CI. CURB INLET
 - FH. FIRE HYDRANT
 - WM. WATER VALVE
 - SC. SANITARY SEWER CLEANOUT
 - FL. FENCE LINE
 - APL. ADJACENT PROPERTY LINE
 - UWL. UNDERGROUND WATERLINE
 - USL. UNDERGROUND SEWER
 - USM. UNDERGROUND STORM LINE
 - OHVP. OVERHEAD POWER



ITEM #3

NC 100 HWY

SNC 67 HWY

BURLINGTON RD

HAWTHORN RIDGE DR

WALNUT CROSSING DR

SPRINGWOOD CHURCH RD

ASHLEYWOODS DR

ALYSSA DR

BROOKVIEW DR

ASPEN AV

ASHLEY TRC

UNIVERSITY DR

WESTBROOK AV

HERITAGE DR

W HERITAGE DR

TALISKER WAY

S CHURCH ST

MACALLAN DR

ROBBENS MHP

HUFFMAN LN

RANDOM LN

GLENY LN

TARTAN LN

CAPOQUIN WAY

LOCHSHIRE DR

DUNLEIGH DR

LS MCK

LIMERICK DR

NIRE VALLEY DR

SHEPHERD DR

DUBLIN CT

WILLIAMS MILL RD

MAYBERY LN

RURAL RETREAT RD

STONECREST DR

COLEMAN RD

CRESCENT RD

CAPE FEAR DR

CLUB DR

FRISSELL DR

BRYCEWOOD DR

CALE DR

TATE DR

TYNDALL DR

ETHANS WAY

GREESON RD

WHITSETT PARK RD

Comprehensive Land Use Plan



ITEM #3

O-I
Suburban Residential

R-12

R-15
Suburban Residential

R-15
Rural Residential/Agriculture

R-15
Park/Open Space



City of Burlington Zoning Staff Report Item #4

Applicant: Mr. Paul Milam representing Mr. Will Walker

Location: 1722 Shamrock Drive

PIN: 130754

Area: 100.021 acres

Current Zoning: R-15 Residential District

Proposed Zoning: CR Conditional Residential

Current Land Use: Golf Course

Adjacent Property Conditions:

Location	Zoning	Land Use	Land Use Plan
North	Residential	Residential	Residential
South	Residential & Conditional Business	Residential	Residential
East	Residential	Residential	Residential
West	Residential, Commercial & Residential	Residential	Residential / Industrial

Comprehensive Plan Consistency:

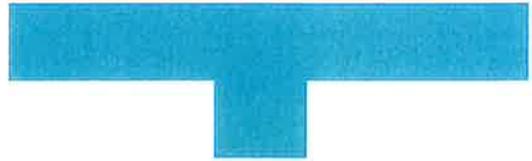
The Comprehensive Plan calls for the area to be Rural Residential/Agricultural. This proposed subdivision is of a higher density than called for in a Rural Residential/Agricultural area. However, recent residential growth in Burlington and Alamance County was not occurring when the Comprehensive Plan was written. This will provide housing opportunities in the Southeastern part of the City. While inconsistent with the Comprehensive Plan, this is a good use of the property.

Staff Recommendation

This proposal is consistent with the land uses in the area.

Staff recommends approval of the rezoning request.

CITY OF BURLINGTON PLANNING DEPARTMENT



Date Submitted _____ Fee/Receipt No. _____ / _____

Provide the required information as indicated below. Pursuant to the City of Burlington Zoning Ordinance, this application will not be processed until application fees are paid, the form below is completed and signed and all required maps and plans and documents have been submitted to the satisfaction of the Planning Department. Additional sheets for tax references, signatures and use and development conditions are attached.

Pursuant to Section 32.19 of the City of Burlington Zoning Ordinance, the undersigned hereby requests the City of Burlington to rezone the property listed below from R-15 zoning district to CR zoning district for the following purpose: 241 Single Family lots

Said property is located 1722 Shamrock Drive

Being a total of 100.021 acres and further referenced on Alamance County or Guilford County Tax Maps as follows: (Additional space on Page 5)

Tax Map 130754

Tax Map _____

Tax Map _____

Tax Map _____

Check one:

- The property requested for rezoning is an entire parcel or parcels as shown on the Alamance or Guilford County Tax Map.
- The property requested for rezoning is a portion of a parcel or parcels as shown on the Alamance or Guilford County Tax Map and a written legal description of the property and a map are attached.

Check one:

- Public services (i.e., water and sewer) are not requested or required.
- Public services (i.e., water and sewer) are requested or required.

Conditional rezoning requirements:

- Zoning Sketch Plan. A sketch plan illustrating proposed conditions and other pertinent information is required for all conditional rezoning requests. Sketch elements not illustrating proposed conditions are subject to subdivision and site plan review. Refer to Section 32.19 of the City of Burlington Zoning Ordinance for conditional rezoning requirements.
- Zoning Conditions. Use and/or development conditions must be provided. Complete Part II of this application. Refer to uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance.

CITY OF BURLINGTON PLANNING DEPARTMENT



USE CONDITIONS: Uses of the property shall be limited to the following uses as listed in the Table of Permitted Uses, Section 32.9, of the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) 241 lot single family subdivision
- 2)
- 3)
- 4)

DEVELOPMENT CONDITIONS: Development of the property shall occur in accordance with the following standards and requirements in addition to those specified in the City of Burlington Zoning Ordinance: (Additional space on Page 6)

- 1) Minimum lot size 7,000 sf
- 2) Minimum lot width 60'
- 3) Setbacks: Front=20', Side 10', Side street 10', Rear 25'
- 4)

(Additional signature space on Page 5)

Will Walker

Property Owner's Signature

Will Walker

Property Owner's Name Printed

Earle W. Walker Revocable Trust

Name of Firm (if applicable)

5202 Ridgedale Ave

Mailing Address

Dallas, TX 75206

City, State and Zip Code

214-855-7415

Area Code and Daytime Telephone Number

Paul Milam

Representative's Signature (if applicable)

Paul Milam

Representative's Name Printed

Henson Realty, LLC

Name of Firm (if applicable)

22 Loch Ridge Drive

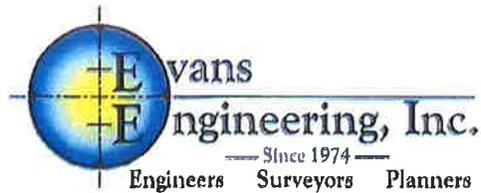
Mailing Address

Greensboro, NC 27408

City, State and Zip Code

336-707-9799

Area Code and Daytime Telephone Number



April 5, 2018

Joey Lea
Zoning/Subdivision Administrator
City of Burlington
425 South Lexington Ave.
Burlington, NC 27215

RE: 1722 Shamrock Drive (Shamrock Village)

Dear Joey:

This letter is submitted as a supplement to the Applicant's Conditional Rezoning application to address the requested development conditions which call for slight flexibility with the established ordinances. The requested conditions listed below are also shown on page 4 of the conditional rezoning application.

Item 1: Minimum lot size 7,000 sf.

The reason for this request is to allow this property the flexibility to be developed with this lot size which will allow the applicant to cluster the lots closer together to better utilize the topography of the property and to keep environmental impacts to a minimum.

Item 2: Minimum lot width 60'.

This again is to allow this property the flexibility to be developed with lot width which will allow the application to cluster the lots closer together to better utilize the topography of the property and to keep environmental impacts to a minimum.

Item 3: Setbacks Front 20', Side 10', Side Street 10', Rear 25'

The reason for this request is to allow the homes to be built closer to the road and to one another. This will in turn keep our built upon area down and help with storm water runoff on the site and keep environmental impacts to a minimum.

4609 Dundas Drive
Greensboro, NC 27407
Phone 336-854-8877
Fax 336-854-8876
License #C-0168

Thank you for your consideration of this matter. Please notify me if additional information is required.

Sincerely,

A handwritten signature in blue ink, appearing to read "Lee Bryant", with a long horizontal flourish extending to the right.

Lee Bryant
Project Manager
Evans Engineering, Inc.



April 10, 2018

Joey Lea
Zoning/Subdivision Administrator
City of Burlington
425 South Lexington Ave.
Burlington, NC 27215

RE: 1722 Shamrock Drive (Shamrock Village)

Dear Joey:

This letter is submitted as a supplement to the Applicant's Conditional Rezoning application to address the requested development conditions.

Additional conditions:

-The Northern portion of Shamrock Drive will need to be renamed and new street addresses assigned.

This condition is required by the City of Burlington to insure there will be no issues with emergency services due to the proposed closure of the portion on Shamrock Drive that currently goes over the dam.

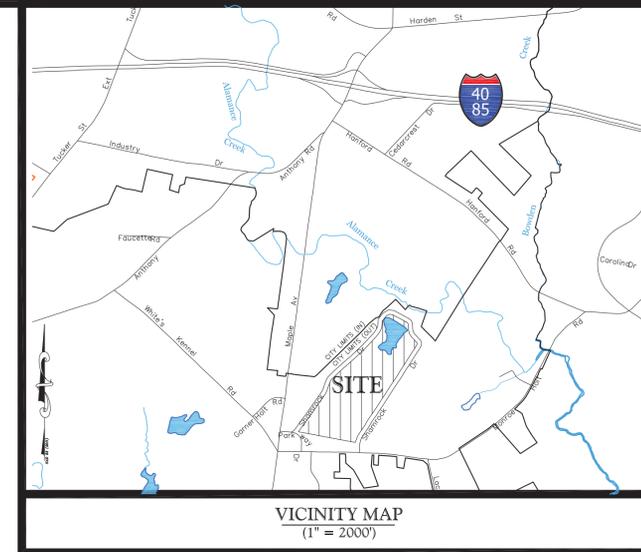
Thank you for your consideration of this matter. Please notify me if additional information is required.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Lee Bryant', with a long horizontal flourish extending to the right.

Lee Bryant
Project Manager
Evans Engineering, Inc.

4609 Dundas Drive
Greensboro, NC 27407
Phone 336-854-8877
Fax 336-854-8876
License #C-0168



VICINITY MAP
(1" = 2000')



SITE DATA

PROPERTY INFORMATION
 CONTRACT PURCHASOR/DEVELOPER: HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 PHONE: (336)707-9799

- PARCELS:
 TAX MAP: 6-3-72(ALAMANCE COUNTY)
 PIN: 130754
- TOTAL SITE ACREAGE = 112.73± ACRES
 TOTAL PROJECT ACREAGE = 101.45± ACRES
- LINEAR FEET OF PROPOSED STREETS: 9,054± LF
- ZONING:
 EXISTING: R-15
 PROPOSED: CONDITIONAL RESIDENTIAL
 ADJACENT ZONING: ALAMANCE COUNTY
- TOTAL LOTS PROPOSED: 241
- DENSITY: 241 UNITS/ 101.45± AC = 2.38 UNITS PER ACRE
- EXISTING USE: GOLF COURSE
 PROPOSED USE: RESIDENTIAL
- TOPOGRAPHY PROVIDED BY ALAMANCE COUNTY GIS.
- THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARDOUS AREA AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT PER PANEL MAP 371088/300K ZONE "X" DATED NOVEMBER 17, 2017.

LOT DIMENSIONAL REQUIREMENTS
 MINIMUM SIZE.....7000'
 MINIMUM WIDTH.....20'
 MINIMUM DEPTH.....117±'

DEVELOPMENT REQUIREMENTS
 FRONT SETBACK.....20'
 SIDE SETBACK.....10'
 STREET SIDE SETBACK.....10'
 REAR SETBACK.....25'
 MAXIMUM BUILDING HEIGHT.....35'

- 10' UTILITY EASEMENT REQUIRED ALONG PUBLIC STREET RIGHT-OF-WAY.
- STORM DRAINAGE EASEMENTS TO BE 20 FEET TYPICAL.
- SANITARY SEWER EASEMENTS TO BE 30 FEET TYPICAL.
- THIS DEVELOPMENT COMPLIES WITH NPDES PHASE II STORM WATER STANDARDS AS A LOW DENSITY DEVELOPMENT WITH LESS THAN 24% BUILT UPON AREA.
- AREAS NOT WITHIN STREET RIGHT-OF-WAY OR LOTS, ARE DESIGNATED COMMON AREA.
- FORMAL STREET NAMES WILL BE PROVIDED PRIOR TO PRELIMINARY PLAT RECORDATION.
- EROSION CONTROL PERMIT REQUIRED PRIOR TO LAND DISTURBING ACTIVITY.
- STREETLIGHT REQUEST TO BE COORDINATED THROUGH THE CITY OF BURLINGTON.
- ALL PROPOSED STREETS TO BE CITY OF BURLINGTON.
- SHAMROCK DRIVE TO REMAIN NCDOT STREET.
- ALL COMMON ELEMENT TRAIL SYSTEM WILL REMAIN OPEN AND MAINTAINED BY THE HOA THROUGHOUT THE LIFE OF THE DEVELOPMENT.

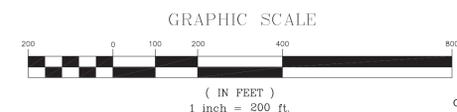
WATERSHED DATA
 BUILT UPON AREA (SITE TO BE A LOW DENSITY DEVELOPMENT)
 EX. BUILDING.....14,590± SF
 EX. PARKING LOT.....29,040± SF
 EX. CART PATH.....188,124± SF
 TOTAL EXISTING BUA.....231,754± SF(5.32± AC)
 PROPOSED LOTS.....723,000± SF
 PROPOSED STREETS.....310,860± SF
 PROPOSED SIDEWALK.....43,600± SF
 PROPOSED PEDESTRIAN PATH.....34,076± SF
 PROPOSED MAIL KIOSK AREA(S).....9,404± SF
 TOTAL PROPOSED BUA.....1,060,690± SF(24.35± AC)

PERCENTAGE OF BUILT UPON AREA (BUA)
 CALCULATIONS OF PROJECT DENSITY PER SECTION 15A NCAC 02H.1003.
 SUB-ITEM 1(1)(c): SHALL HAVE THE OPTION OF CALCULATING PROJECT DENSITY AS THE DIFFERENCE OF TOTAL BUILT-UPON AREA MINUS EXISTING BUILT-UPON AREA DIVIDED BY THE DIFFERENCE OF TOTAL PROJECT AREA MINUS EXISTING BUILT-UPON AREA.

PROPOSED BUA - EXISTING BUA	24.35± - 5.32±	19.03
PROJECT SITE AREA - EXISTING BUA	101.45± - 5.32±	96.13 = 19.80%

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

ITEM #4



PROJECT TITLE:
SHAMROCK VILLAGE
 1722 SHAMROCK DRIVE
 GRAHAM TOWNSHIP ALAMANCE COUNTY
 GRAHAM, NORTH CAROLINA

APPLICANT/OWNER/OPERATOR:
HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 336-707-9799

E v a n s
E n g i n e e r i n g , I n c .
 Since 1974
 Engineers Surveyors Planners
 6609 Dundas Drive Greensboro, NC 27407
 Phone 336-854-8977 Fax 336-854-8976
 FIRM LICENSE #C-0168

PROJECT: 763-15 DESIGN BY: LIB DRAWN BY: PIZ
 DWG: H2/DRAWINGS

SHEET DESCRIPTION:
PRELIMINARY SUBDIVISION PLAT
 (EX. CONDITIONS PLAN)

SCALE: 1" = 200' DATE: FEBRUARY 13, 2018

REVISIONS:
 3/12/2017: TECHNICAL REVIEW COMMENTS & STORMWATER COMMENTS.
 04/03/2018: TECHNICAL REVIEW COMMENTS
 04/09/2018: ADJUST UTILITIES
 04/17/2018: ADJUST MINIMUM LOT DIMENSIONAL REQUIREMENTS.

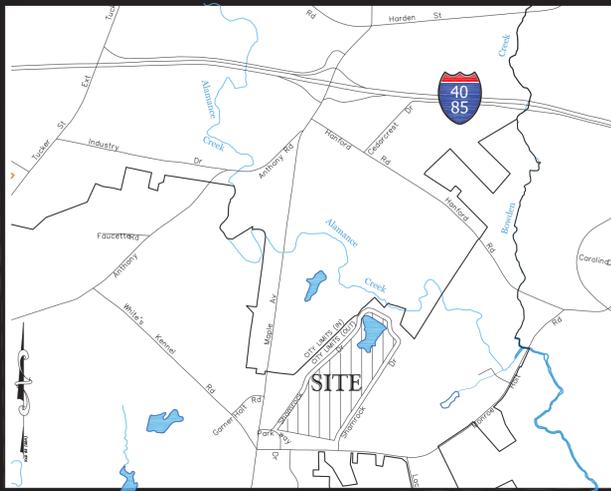
SHEET NO. **C-1.0**

NC 49 AND PARKWAY DRIVE INTERSECTION
 T.I.A. RECOMMENDATION AS LISTED BELOW TO BE BUILT BY THE APPLICANT AS A CONDITION OF THE PENDING NCDOT DRIVEWAY PERMIT:
 -EXCLUSIVE SOUTHBOUND LEFT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE TRANSITIONS ON NC 49
 -EXCLUSIVE NORTHBOUND RIGHT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE TRANSITIONS ON NC 49

SHAMROCK DR. TREE PRESERVATION NOTE:
 EXISTING TREES ALONG SHAMROCK DRIVE TO BE PRESERVED. WHERE EXISTING TREES CAN NOT BE PRESERVED, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE PROVIDED. WHERE THERE IS NO EXISTING TREES TO PRESERVE ALONG SHAMROCK DRIVE, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE CONSTRUCTED.

GENERAL NOTES:
 1. PROPOSED UTILITIES SHOWN ARE SUBJECT TO CHANGE DURING CONSTRUCTION DESIGN.
 2. ALL SEWER LATERALS ACROSS COMMON ELEMENTS SHALL INCLUDE A 20" PRIVATE SEWER EASEMENT TO CONNECT THE LOTS TO THE PUBLIC SEWER EASEMENT.
 3. PROPOSED INTERNAL TRAIL SYSTEM SHOWN ON PLAN IS CONCEPTUAL. FINAL LAYOUT OF SYSTEM AND MATERIAL (HARD SURFACE OR NATURAL SURFACE) USED TO BE ON CONSTRUCTION PLANS.
 4. ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF BURLINGTON SPECIFICATIONS AND DETAILS.

STORMWATER NOTES:
 1. AS-BUILTS OF STRUCTURAL STORMWATER CONTROL MEASURE SHALL BE PROVIDED TO THE CITY OF BURLINGTON STORMWATER DIVISION PRIOR TO THE CITY RELEASING THE SURETY.
 2. DISPUSE FLOW DEVICE TO BE PLACED AT ALL PIPE OUTLETS. DEVICES WILL BE DESIGNED AND SPECIFIED DURING THE CONSTRUCTION DESIGN PROCESS.
 3. STORMWATER CONVEYANCE SYSTEM SHOWN PER THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE DURING CONSTRUCTION DESIGN.



VICINITY MAP
 (1" = 2000')

SITE DATA

PROPERTY INFORMATION
 • CONTRACT PURCHASOR/DEVELOPER: HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 PHONE: (336)707-9799

• PARCELS:
 TAX MAP: 6-3-72(ALAMANCE COUNTY)
 PIN: 130754

TOTAL SITE ACREAGE = 112.73± ACRES
 TOTAL PROJECT ACREAGE = 101.45± ACRES

• LINEAR FEET OF PROPOSED STREETS: 9,054± LF

• ZONING:
 EXISTING: R-15
 PROPOSED: CONDITIONAL RESIDENTIAL
 ADJACENT ZONING: ALAMANCE COUNTY

• TOTAL LOTS PROPOSED: 241

• DENSITY: 241 UNITS/ 101.45± AC = 2.38 UNITS PER ACRE

• EXISTING USE: GOLF COURSE
 PROPOSED USE: RESIDENTIAL

• TOPOGRAPHY PROVIDED BY ALAMANCE COUNTY GIS.

• THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT PER PANEL MAP 3710887300K ZONE "X" DATED NOVEMBER 17, 2017.

LOT DIMENSIONAL REQUIREMENTS
 MINIMUM SIZE.....7000'
 MINIMUM WIDTH.....20'
 MINIMUM DEPTH.....117±'

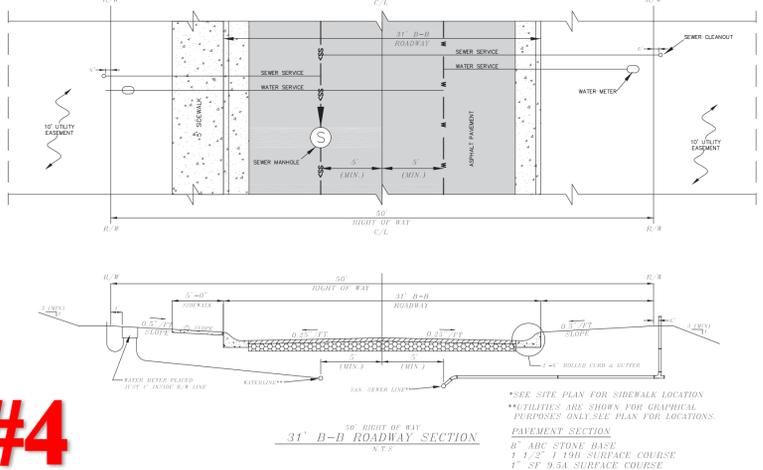
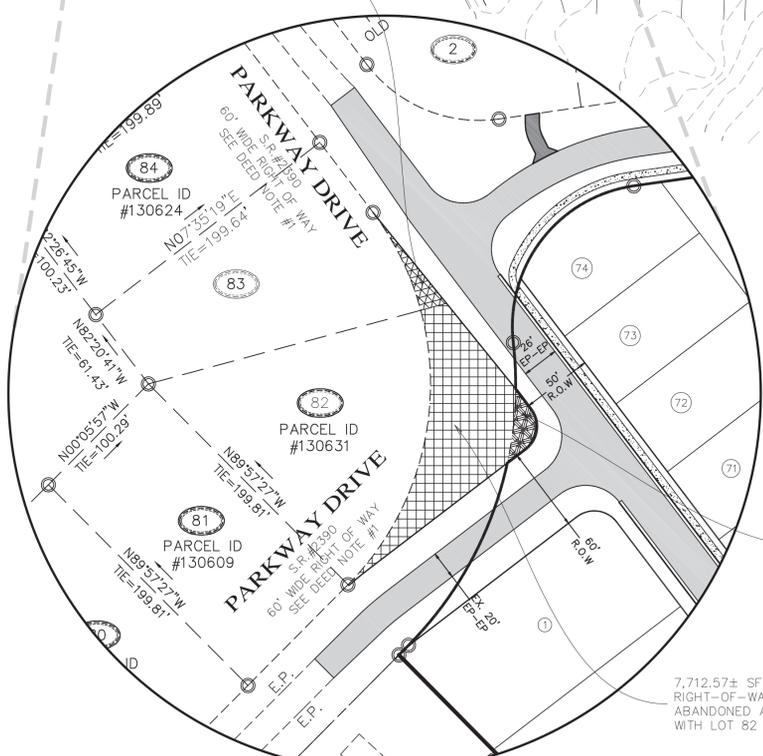
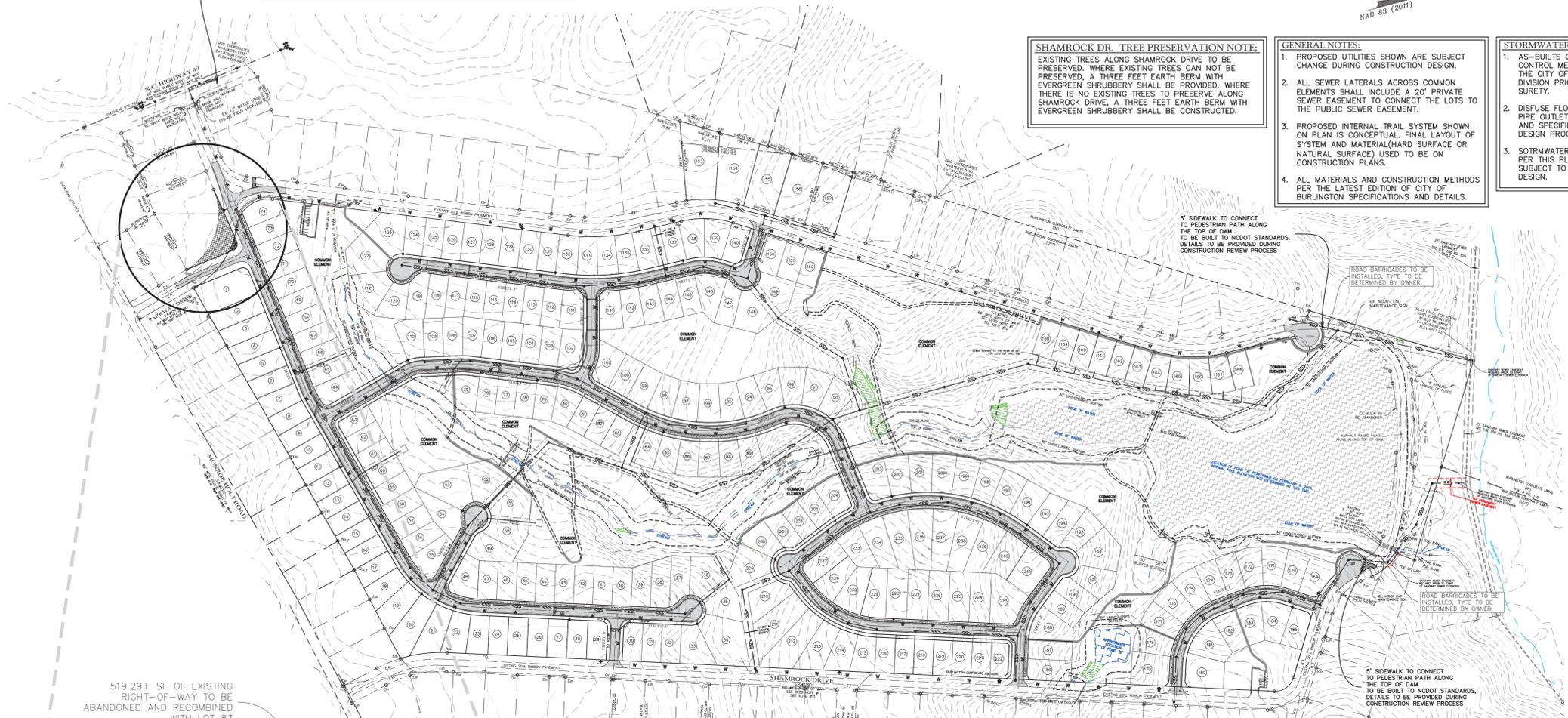
DEVELOPMENT REQUIREMENTS
 FRONT SETBACK.....20'
 SIDE SETBACK.....10'
 STREET SIDE SETBACK.....10'
 REAR SETBACK.....25'
 MAXIMUM BUILDING HEIGHT.....35'

• 10' UTILITY EASEMENT REQUIRED ALONG PUBLIC STREET RIGHT-OF-WAY.
 • STORM DRAINAGE EASEMENTS TO BE 20 FEET TYPICAL.
 • SANITARY SEWER EASEMENTS TO BE 30 FEET TYPICAL.
 • THIS DEVELOPMENT COMPLIES WITH NPDES PHASE II STORM WATER STANDARDS AS A LOW DENSITY DEVELOPMENT WITH LESS THAN 24% BUILT UPON AREA.
 • AREAS NOT WITHIN STREET RIGHT-OF-WAY OR LOTS, ARE DESIGNATED COMMON AREA.
 • FORMAL STREET NAMES WILL BE PROVIDED PRIOR TO PRELIMINARY PLAN RECOORDINATION.
 • EROSION CONTROL PERMIT REQUIRED PRIOR TO LAND DISTURBING ACTIVITY.
 • STREETLIGHT REQUEST TO BE COORDINATED THROUGH THE CITY OF BURLINGTON.
 • ALL PROPOSED STREETS TO BE CITY OF BURLINGTON.
 • SHAMROCK DRIVE TO REMAIN NCDOT STREET.
 • ALL COMMON ELEMENT TRAIL SYSTEM WILL REMAIN OPEN AND MAINTAINED BY THE HOA THROUGHOUT THE LIFE OF THE DEVELOPMENT.

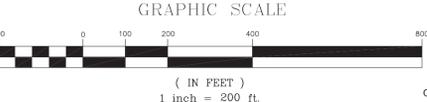
WATERSHED DATA
 BUILT UPON AREA (SITE TO BE A LOW DENSITY DEVELOPMENT)
 EX. BUILDING.....14,590± SF
 EX. PARKING LOT.....29,040± SF
 EX. CURT PATH.....188,124± SF
 TOTAL EXISTING BUA.....231,754± SF(5.32± AC)
 PROPOSED LOTS.....723,000± SF
 PROPOSED STREETS.....310,860± SF
 PROPOSED SIDEWALK.....43,600± SF
 PROPOSED PEDESTRIAN PATH.....34,076± SF
 PROPOSED MAIL KIOSK AREA(S).....9,404± SF
 TOTAL PROPOSED BUA.....1,060,690± SF(24.35± AC)

PERCENTAGE OF BUILT UPON AREA (BUA)
 CALCULATIONS OF PROJECT DENSITY PER SECTION 15A NCAC 02H.1003.
 SUB-ITEM 11(C): SHALL HAVE THE OPTION OF CALCULATING PROJECT DENSITY AS THE DIFFERENCE OF TOTAL BUILT-UPON AREA MINUS EXISTING BUILT-UPON AREA DIVIDED BY THE DIFFERENCE OF TOTAL PROJECT AREA MINUS EXISTING BUILT-UPON AREA

PROPOSED BUA - EXISTING BUA = 24.35± - 5.32± = 19.03
 PROJECT SITE AREA - EXISTING BUA = 101.45± - 5.32± = 96.13 = 19.80%



PRELIMINARY
 DO NOT USE FOR CONSTRUCTION



ITEM #4

PROJECT TITLE:
SHAMROCK VILLAGE
 1722 SHAMROCK DRIVE
 GRAHAM TOWNSHIP, ALAMANCE COUNTY
 GRAHAM, NORTH CAROLINA

APPLICANT/OWNER/OPERATOR:
HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 336-707-9799

E v a n s
E n g i n e e r i n g , I n c .
 Since 1974
 Engineers Surveyors Planners
 4609 Dundas Drive Greensboro, NC 27407
 Phone 336-854-8877 Fax 336-854-8876
 FIRM LICENSE #C-0168

PROJECT: 763-15 DESIGN BY: LIB DRAWN BY: PIZ
 DWG: HJ/ARW

SHEET DESCRIPTION:
PRELIMINARY SUBDIVISION PLAT
 (OVERALL SITE PLAN)

SCALE: 1" = 200' DATE: FEBRUARY 13, 2018

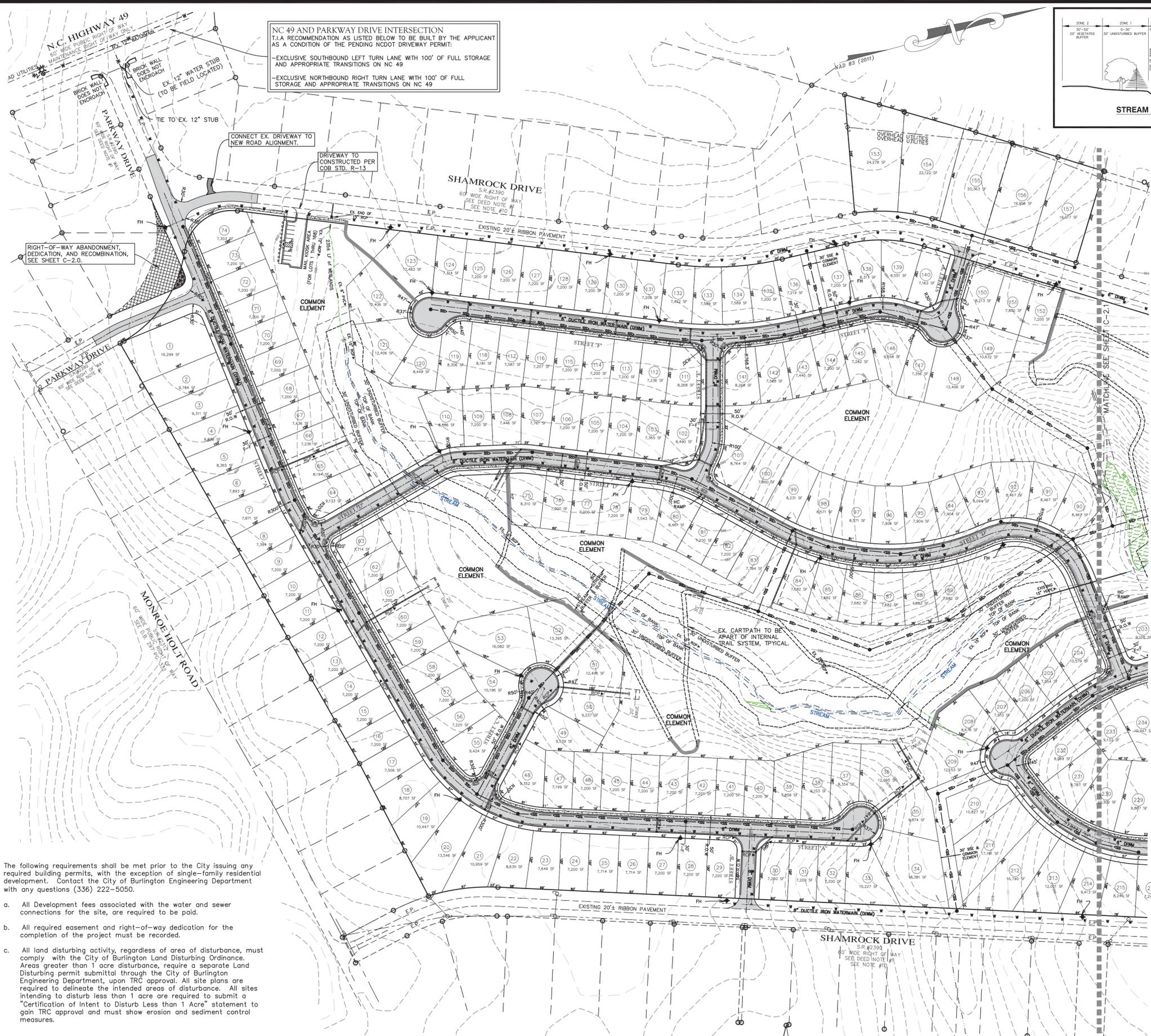
REVISIONS:
 3/12/2018: TECHNICAL REVIEW COMMENTS & STORMWATER COMMENTS.
 04/03/2018: TECHNICAL REVIEW COMMENTS
 04/09/2018: ADJUST UTILITIES
 04/17/2018: ADJUST MINIMUM LOT DIMENSIONAL REQUIREMENTS.

SHEET NO. **C-2.0**

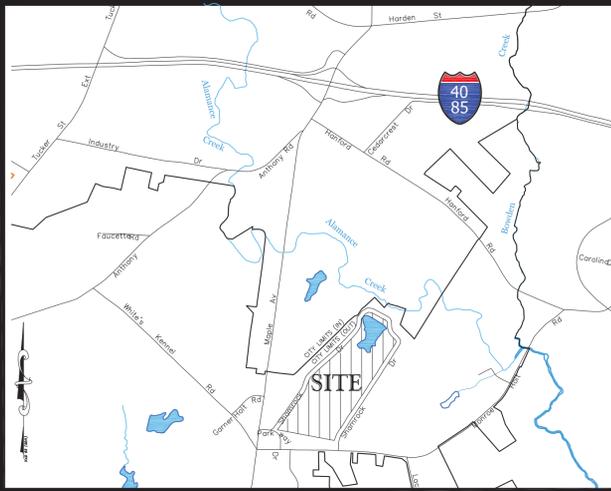
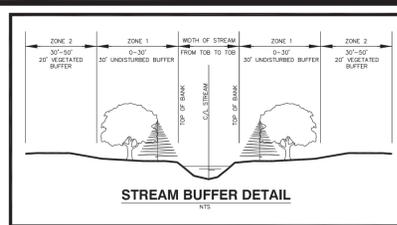


BEFORE YOU DIG!
 CALL 811 N.C. ONE-CALL CENTER
 IT'S THE LAW!

PARKWAY DRIVE RIGHT-OF-WAY DEDICATION & ABANDONMENT ENLARGEMENT
 N.T.S.



NC 49 AND PARKWAY DRIVE INTERSECTION
 T.I.A. RECOMMENDATION AS LISTED BELOW TO BE BUILT BY THE APPLICANT AS A CONDITION OF THE PENDING NCDOT DRIVEWAY PERMIT:
 -EXCLUSIVE SOUTHBOUND LEFT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE TRANSITIONS ON NC 49
 -EXCLUSIVE NORTHBOUND RIGHT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE TRANSITIONS ON NC 49



- GENERAL NOTES:**
1. PROPOSED UTILITIES SHOWN ARE SUBJECT CHANGE DURING CONSTRUCTION DESIGN.
 2. ALL SEWER LATERALS ACROSS COMMON ELEMENTS SHALL INCLUDE A 20' PRIVATE SEWER EASEMENT TO CONNECT THE LOTS TO THE PUBLIC SEWER EASEMENT.
 3. PROPOSED INTERNAL TRAIL SYSTEM SHOWN ON PLAN IS CONCEPTUAL. FINAL LAYOUT OF SYSTEM AND MATERIAL (HARD SURFACE OR NATURAL SURFACE) USED TO BE ON CONSTRUCTION PLANS.
 4. ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF BURLINGTON SPECIFICATIONS AND DETAILS.

- STORMWATER NOTES:**
1. AS-BUILTS OF STRUCTURAL STORMWATER CONTROL MEASURE SHALL BE PROVIDED TO THE CITY OF BURLINGTON STORMWATER DIVISION PRIOR TO THE CITY RELEASING THE SURETY.
 2. DISFUSE FLOW DEVICE TO BE PLACED AT ALL PIPE OUTLETS. DEVICES WILL BE DESIGNED AND SPECIFIED DURING THE CONSTRUCTION DESIGN PROCESS.
 3. SOTRMWATER CONVEYANCE SYSTEM SHOWN PER THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE DURING CONSTRUCTION DESIGN.

SHAMROCK DR. TREE PRESERVATION NOTE:
 EXISTING TREES ALONG SHAMROCK DRIVE TO BE PRESERVED. WHERE EXISTING TREES CAN NOT BE PRESERVED, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE PROVIDED. WHERE THERE IS NO EXISTING TREES TO PRESERVE ALONG SHAMROCK DRIVE, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE CONSTRUCTED.

SITE DATA
PROPERTY INFORMATION
 CONTRACT PURCHASER/DEVELOPER: HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 PHONE: (336)707-9799

PARCELS:
 TAX MAP: 6-3-72(ALAMANCE COUNTY)
 PIN: 130754

TOTAL SITE ACREAGE = 112.73± ACRES
 TOTAL PROJECT ACREAGE = 101.45± ACRES

• LINEAR FEET OF PROPOSED STREETS: 9,054± LF

• ZONING:
 EXISTING: R-15
 PROPOSED: CONDITIONAL RESIDENTIAL
 ADJACENT ZONING: ALAMANCE COUNTY

• TOTAL LOTS PROPOSED: 241

• DENSITY: 241 UNITS / 101.45± AC = 2.38 UNITS PER ACRE

• EXISTING USE: GOLF COURSE
 PROPOSED USE: RESIDENTIAL

• TOPOGRAPHY PROVIDED BY ALAMANCE COUNTY GIS.

• THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT PER PANEL MAP 371088/300K ZONE "X" DATED NOVEMBER 17, 2017.

LOT DIMENSIONAL REQUIREMENTS
 MINIMUM SIZE.....7000'
 MINIMUM WIDTH.....20'
 MINIMUM DEPTH.....117±'

DEVELOPMENT REQUIREMENTS
 FRONT SETBACK.....20'
 SIDE SETBACK.....10'
 STREET SIDE SETBACK.....10'
 REAR SETBACK.....25'
 MAXIMUM BUILDING HEIGHT.....35'

• 10' UTILITY EASEMENT REQUIRED ALONG PUBLIC STREET RIGHT-OF-WAY.
 • STORM DRAINAGE EASEMENTS TO BE 20 FEET TYPICAL.
 • SANITARY SEWER EASEMENTS TO BE 30 FEET TYPICAL.
 • THIS DEVELOPMENT COMPLIES WITH NPDES PHASE II STORM WATER STANDARDS AS A LOW DENSITY DEVELOPMENT WITH LESS THAN 24± BUILT UPON AREA.
 • AREAS NOT WITHIN STREET RIGHT-OF-WAY OR LOTS, ARE DESIGNATED COMMON AREA.
 • FORMAL STREET NAMES WILL BE PROVIDED PRIOR TO PRELIMINARY PLAN RECORDED.
 • EROSION CONTROL PERMIT REQUIRED PRIOR TO LAND DISTURBING ACTIVITY.
 • STREETLIGHT REQUEST TO BE COORDINATED THROUGH THE CITY OF BURLINGTON.
 • ALL PROPOSED STREETS TO BE CITY OF BURLINGTON.
 • SHAMROCK DRIVE TO REMAIN NCDOT STREET.
 • ALL COMMON ELEMENT TRAIL SYSTEM WILL REMAIN OPEN AND MAINTAINED BY THE HOA THROUGHOUT THE LIFE OF THE DEVELOPMENT.

WATERSHED DATA
BUILT UPON AREA (SITE TO BE A LOW DENSITY DEVELOPMENT)
 EX. BUILDING.....14,590± SF
 EX. PARKING LOT.....29,040± SF
 EX. CART PATH.....188,124± SF
 TOTAL EXISTING BUA.....231,754± SF (5.32± AC)
 PROPOSED LOTS.....723,000± SF
 PROPOSED STREETS.....310,860± SF
 PROPOSED SIDEWALK.....43,600± SF
 PROPOSED PEDESTRIAN PATH.....34,076± SF
 PROPOSED MAIL KIOSK AREA(S).....9,404± SF
 TOTAL PROPOSED BUA.....1,060,690± SF (24.35± AC)

PERCENTAGE OF BUILT UPON AREA (BUA)
 CALCULATIONS OF PROJECT DENSITY PER SECTION 15A NCAC 02H.1003.
 SUB-ITEM 11(C): SHALL HAVE THE OPTION OF CALCULATING PROJECT DENSITY AS THE DIFFERENCE OF TOTAL BUILT-UPON AREA MINUS EXISTING BUILT-UPON AREA DIVIDED BY THE DIFFERENCE OF TOTAL PROJECT AREA MINUS EXISTING BUILT-UPON AREA.

PROPOSED BUA - EXISTING BUA	24.35± - 5.32±	19.03
PROJECT SITE AREA - EXISTING BUA	101.45± - 5.32±	96.13± = 19.80%

The following requirements shall be met prior to the City issuing any required building permits, with the exception of single-family residential development. Contact the City of Burlington Engineering Department with any questions (336) 222-5050.

- All Development fees associated with the water and sewer connections for the site, are required to be paid.
- All required easement and right-of-way dedication for the completion of the project must be recorded.
- All land disturbing activity, regardless of area of disturbance, must comply with the City of Burlington Land Disturbing Ordinance. Areas greater than 1 acre disturbance, require a separate Land Disturbing permit submitted through the City of Burlington Engineering Department, upon TRC approval. All site plans are required to delineate the intended areas of disturbance. All sites intending to disturb less than 1 acre are required to submit a "Certification of Intent to Disturb Less than 1 Acre" statement to gain TRC approval and must show erosion and sediment control measures.

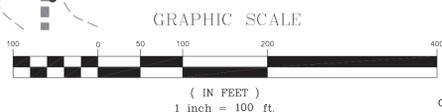
UTILITIES LEGEND

SS	VCP/DIP SANITARY SEWER (SIZE VARIES)
●	SANITARY SEWER MANHOLE
—	DUCTILE IRON WATERMAIN (SIZE VARIES)
⬮	FIRE HYDRANT
⊕	WHEEL CHAIR RAMP

UTILITY NOTICE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, RECORDED EASEMENTS, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

ITEM #4

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION



PROJECT TITLE:
SHAMROCK VILLAGE
 1722 SHAMROCK DRIVE
 GRAHAM TOWNSHIP, ALAMANCE COUNTY
 GRAHAM, NORTH CAROLINA

APPLICANT/OWNER/OPERATOR:
HENSON REALTY, LLC
 22 LOCH RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 336-707-9799

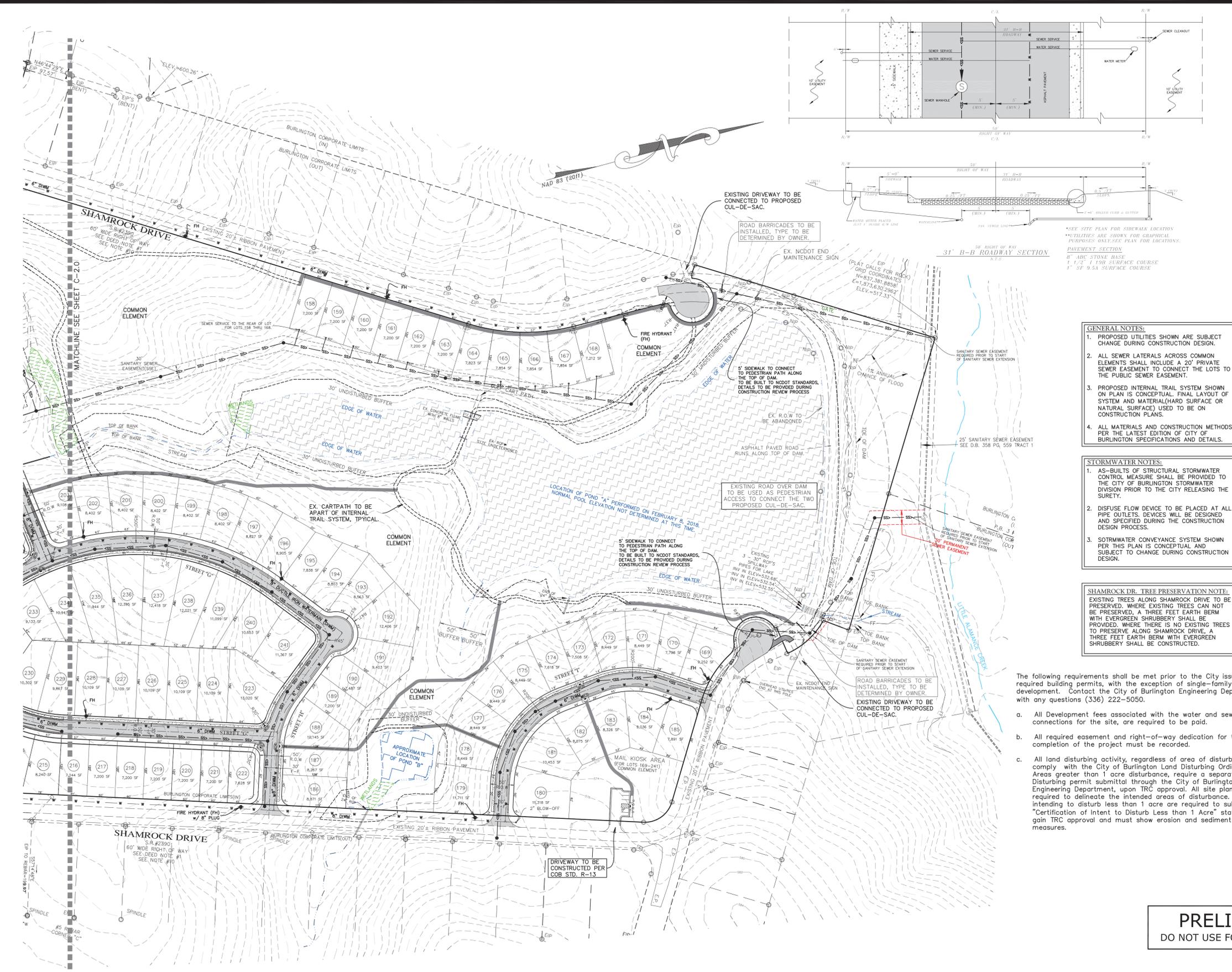
Engineers Surveyors Planners
 Evans Engineering, Inc.
 Since 1974
 6609 Dundas Drive Greensboro, NC 27407
 Phone 336-854-8877 Fax 336-854-8876
 FIRM LICENSE #C-0168

PROJECT: 763-15 DESIGN BY: LIB DRAWN BY: [Signature]
 SHEET DESCRIPTION:
PRELIMINARY SUBDIVISION PLAT
 (SHEET 1 OF 2)

SCALE: 1" = 100' DATE: FEBRUARY 13, 2018

REVISIONS:
 3/12/2018: TECHNICAL REVIEW COMMENTS & STORMWATER COMMENTS.
 04/03/2018: TECHNICAL REVIEW COMMENTS.
 04/09/2018: ADJUST UTILITIES
 04/17/2018: ADJUST MINIMUM LOT DIMENSIONAL REQUIREMENTS.

SHEET NO. **C-2.1**

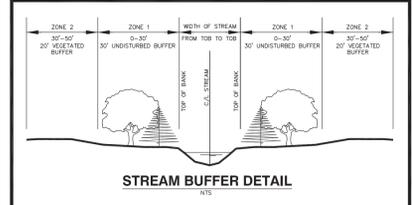


UTILITIES LEGEND

- SS - VCP/DIP SANITARY SEWER (SIZE VARIES)
- - SANITARY SEWER MANHOLE
- - DUCTILE IRON WATERMAIN (SIZE VARIES)
- ⊕ - FIRE HYDRANT
- ⊙ - WHEEL CHAIR RAMP

UTILITY NOTICE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, RECORDED EASEMENTS, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

ITEM #4



- GENERAL NOTES:**
- PROPOSED UTILITIES SHOWN ARE SUBJECT CHANGE DURING CONSTRUCTION DESIGN.
 - ALL SEWER LATERALS ACROSS COMMON ELEMENTS SHALL INCLUDE A 20' PRIVATE SEWER EASEMENT TO CONNECT THE LOTS TO THE PUBLIC SEWER EASEMENT.
 - PROPOSED INTERNAL TRAIL SYSTEM SHOWN ON PLAN IS CONCEPTUAL. FINAL LAYOUT OF SYSTEM AND MATERIAL (HARD SURFACE OR NATURAL SURFACE) USED TO BE ON CONSTRUCTION PLANS.
 - ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF BURLINGTON SPECIFICATIONS AND DETAILS.

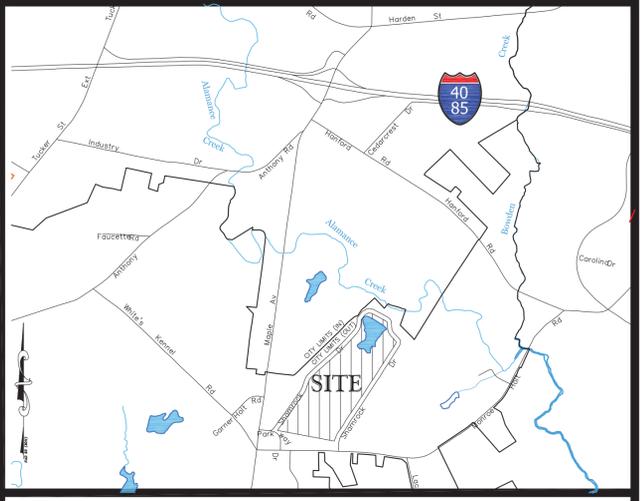
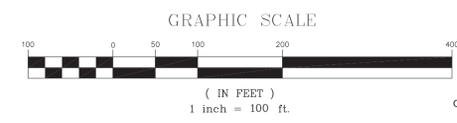
- STORMWATER NOTES:**
- AS-BUILTS OF STRUCTURAL STORMWATER CONTROL MEASURE SHALL BE PROVIDED TO THE CITY OF BURLINGTON STORMWATER DIVISION PRIOR TO THE CITY RELEASING THE SURETY.
 - DISUSE FLOW DEVICE TO BE PLACED AT ALL PIPE OUTLETS. DEVICES WILL BE DESIGNED AND SPECIFIED DURING THE CONSTRUCTION DESIGN PROCESS.
 - SOTRMWATER CONVEYANCE SYSTEM SHOWN PER THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE DURING CONSTRUCTION DESIGN.

SHAMROCK DR. TREE PRESERVATION NOTE:
 EXISTING TREES ALONG SHAMROCK DRIVE TO BE PRESERVED. WHERE EXISTING TREES CAN NOT BE PRESERVED, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE PROVIDED. WHERE THERE IS NO EXISTING TREES TO PRESERVE ALONG SHAMROCK DRIVE, A THREE FEET EARTH BERM WITH EVERGREEN SHRUBBERY SHALL BE CONSTRUCTED.

The following requirements shall be met prior to the City issuing any required building permits, with the exception of single-family residential development. Contact the City of Burlington Engineering Department with any questions (336) 222-5050.

- All Development fees associated with the water and sewer connections for the site, are required to be paid.
- All required easement and right-of-way dedication for the completion of the project must be recorded.
- All land disturbing activity, regardless of area of disturbance, must comply with the City of Burlington Land Disturbing Ordinance. Areas greater than 1 acre disturbance, require a separate Land Disturbing permit submitted through the City of Burlington Engineering Department, upon TRC approval. All site plans are required to delineate the intended areas of disturbance. All sites intending to disturb less than 1 acre are required to submit a "Certification of Intent to Disturb Less than 1 Acre" statement to gain TRC approval and must show erosion and sediment control measures.

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION



SITE DATA
PROPERTY INFORMATION
 CONTRACT PURCHASOR/DEVELOPER: HENSON REALTY, LLC
 22 LOCK RIDGE DRIVE
 GREENSBORO, NC 27408
 CONTACT: PAUL MILAM
 PHONE: (336) 707-9799

- PARCELS: TAX MAP 6-3-72(ALAMANCE COUNTY) PIN: 130754
- TOTAL SITE ACREAGE = 112.73± ACRES
- TOTAL PROJECT ACREAGE = 101.45± ACRES
- LINEAR FEET OF PROPOSED STREETS: 9,054± LF
- ZONING: EXISTING: R-15
- PROPOSED: CONDITIONAL RESIDENTIAL
- ADJACENT ZONING: ALAMANCE COUNTY
- TOTAL LOTS PROPOSED: 241
- DENSITY: 241 UNITS/ 101.45± AC = 2.38 UNITS PER ACRE
- EXISTING USE: GOLF COURSE
- PROPOSED USE: RESIDENTIAL
- TOPOGRAPHY PROVIDED BY ALAMANCE COUNTY GIS.
- THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT PER PANEL MAP 3710887300K ZONE "X" DATED NOVEMBER 17, 2017.

LOT DIMENSIONAL REQUIREMENTS

MINIMUM SIZE	700'
MINIMUM WIDTH	40'
MINIMUM DEPTH	117'±

DEVELOPMENT REQUIREMENTS

FRONT SETBACK	20'
SIDE SETBACK	10'
STREET SIDE SETBACK	10'
REAR SETBACK	25'
MAXIMUM BUILDING HEIGHT	35'

- 10' UTILITY EASEMENT REQUIRED ALONG PUBLIC STREET RIGHT-OF-WAY.
- STORM DRAINAGE EASEMENTS TO BE 20 FEET TYPICAL.
- SANITARY SEWER EASEMENTS TO BE 30 FEET TYPICAL.
- THIS DEVELOPMENT COMPLIES WITH PHASE II STORM WATER STANDARDS AS A LOW DENSITY DEVELOPMENT WITH LESS THAN 24K BUILT UPON AREA.
- AREAS NOT WITHIN STREET RIGHT-OF-WAY OR LOTS, ARE DESIGNATED COMMON AREA.
- FORMAL STREET NAMES WILL BE PROVIDED PRIOR TO PRELIMINARY PLAT RECORDED.
- EROSION CONTROL PERMIT REQUIRED PRIOR TO LAND DISTURBING ACTIVITY.
- STREETLIGHT REQUEST TO BE COORDINATED THROUGH THE CITY OF BURLINGTON.
- ALL PROPOSED STREETS TO BE CITY OF BURLINGTON.
- SHAMROCK DRIVE TO REMAIN NCDOT STREET.
- ALL COMMON ELEMENT TRAIL SYSTEM WILL REMAIN OPEN AND MAINTAINED BY THE HOA THROUGHOUT THE LIFE OF THE DEVELOPMENT.

WATERSHED DATA
 BUILT UPON AREA (SITE TO BE A LOW DENSITY DEVELOPMENT)

EX. BUILDING	14,590± SF
EX. PARKING LOT	29,040± SF
EX. CART PATH	188,124± SF
TOTAL EXISTING BUA	231,754± SF (5.32± AC)
PROPOSED LOTS	723,000± SF
PROPOSED STREETS	310,860± SF
PROPOSED SIDEWALK	43,600± SF
PROPOSED PEDESTRIAN PATH	34,078± SF
PROPOSED MAIL KIOSK AREA(S)	9,404± SF
TOTAL PROPOSED BUA	1,060,690± SF (24.35± AC)

PERCENTAGE OF BUILT UPON AREA (BUA)
 CALCULATIONS OF PROJECT DENSITY PER SECTION 15A NCAC 02H.1003, SUB-ITEM (1)(c): SHALL HAVE THE OPTION OF CALCULATING PROJECT DENSITY AS THE DIFFERENCE OF TOTAL BUILT-UPON AREA MINUS EXISTING BUILT-UPON AREA DIVIDED BY THE DIFFERENCE OF TOTAL PROJECT AREA MINUS EXISTING BUILT-UPON AREA.

PROPOSED BUA - EXISTING BUA	= 24.35± - 5.32± = 19.03
PROJECT SITE AREA - EXISTING BUA	= 101.45± - 5.32± = 96.13

PROJECT TITLE: **SHAMROCK VILLAGE**
 1722 SHAMROCK DRIVE
 ALAMANCE COUNTY
 GRAHAM, NORTH CAROLINA

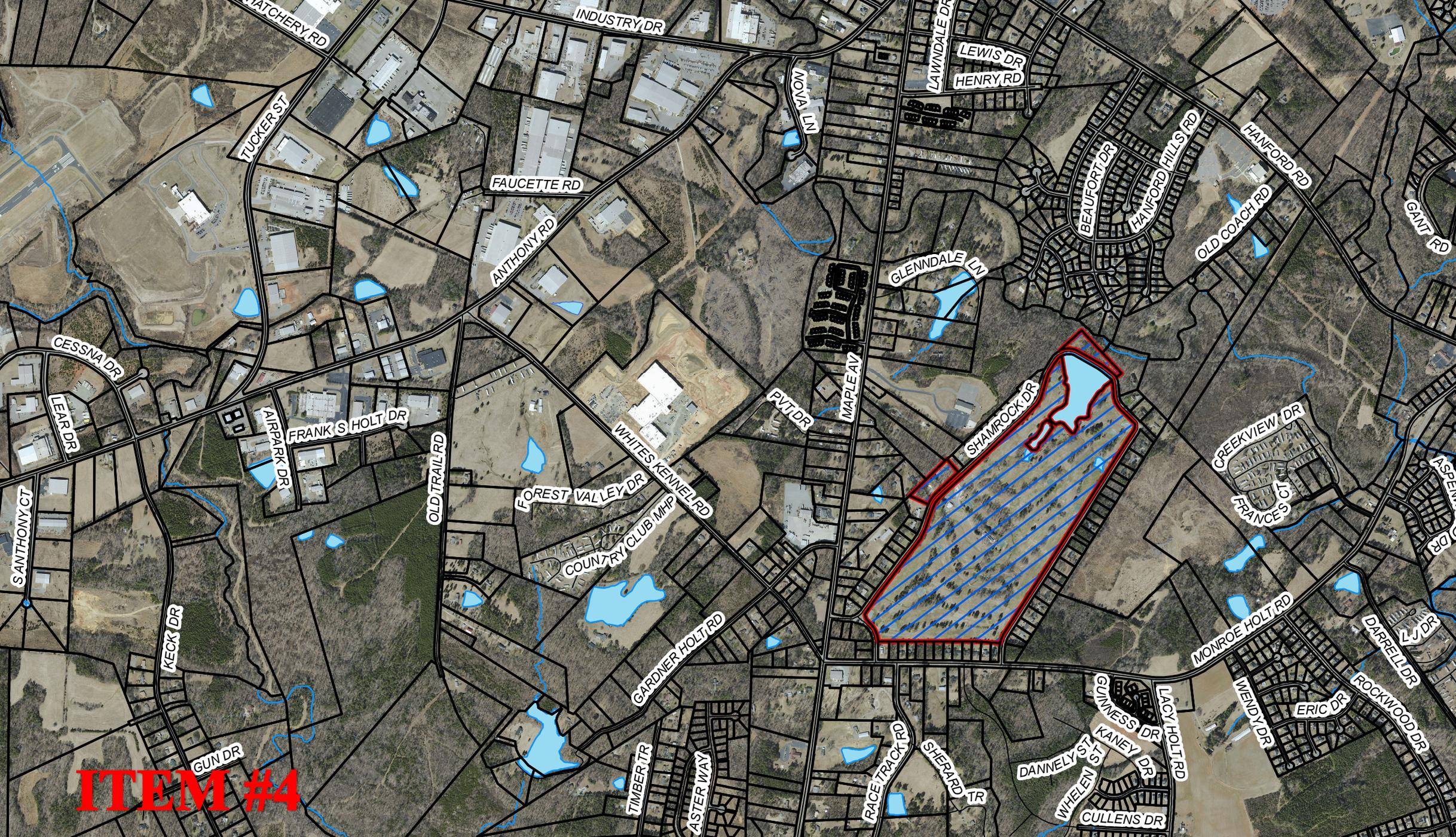
APPLICANT/OWNER/OPERATOR: **HENSON REALTY, LLC**

Engineers Surveyors Planners
 Evans Engineering, Inc.
 6609 Dudas Drive Greensboro, NC 27407
 Phone 336-654-9877 Fax 336-654-8676
 FIRM LICENSE #C-0168

PROJECT: 763-15 DESIGN BY: LB DRAWN BY: JZ
 SHEET DESCRIPTION: **PRELIMINARY SUBDIVISION PLAT**
 (SHEET 2 of 2)

SCALE: 1" = 100'
 DATE: FEBRUARY 13, 2018
 REVISIONS:
 3/12/2018: TECHNICAL REVIEW COMMENTS & STORMWATER COMMENTS.
 04/03/2018: TECHNICAL REVIEW COMMENTS
 04/09/2018: ADJUST UTILITIES
 04/17/2018: ADJUST MINIMUM LOT DIMENSIONAL REQUIREMENTS.

SHEET NO.: **C-2.2**



ITEM #4

WATCHEY RD

INDUSTRY DR

LAWDALE DR
LEWIS DR
HENRY RD

TUCKER ST

FAUCETTE RD

NOVA LN

BEAUFORT DR
HANFORD HILLS RD

HANFORD RD

ANTHONY RD

GLENDALE LN

OLD COACH RD

CESSNA DR

FRANK S HOLT DR

PVT DR

MARLEAV

SHAMROCK DR

CREEKVIEW DR
FRANCES

LEAR DR

AIRPARK DR

WHITES KENNEL RD
FOREST VALLEY DR

COUNTRY CLUB MHP

GARDNER HOLT RD

SANTHONY CT

KECK DR

OLD TRAIL RD

MONROE HOLT RD

DARRELL DR

GUN DR

TIMBER TR

ASTER WAY

RACE TRACK RD

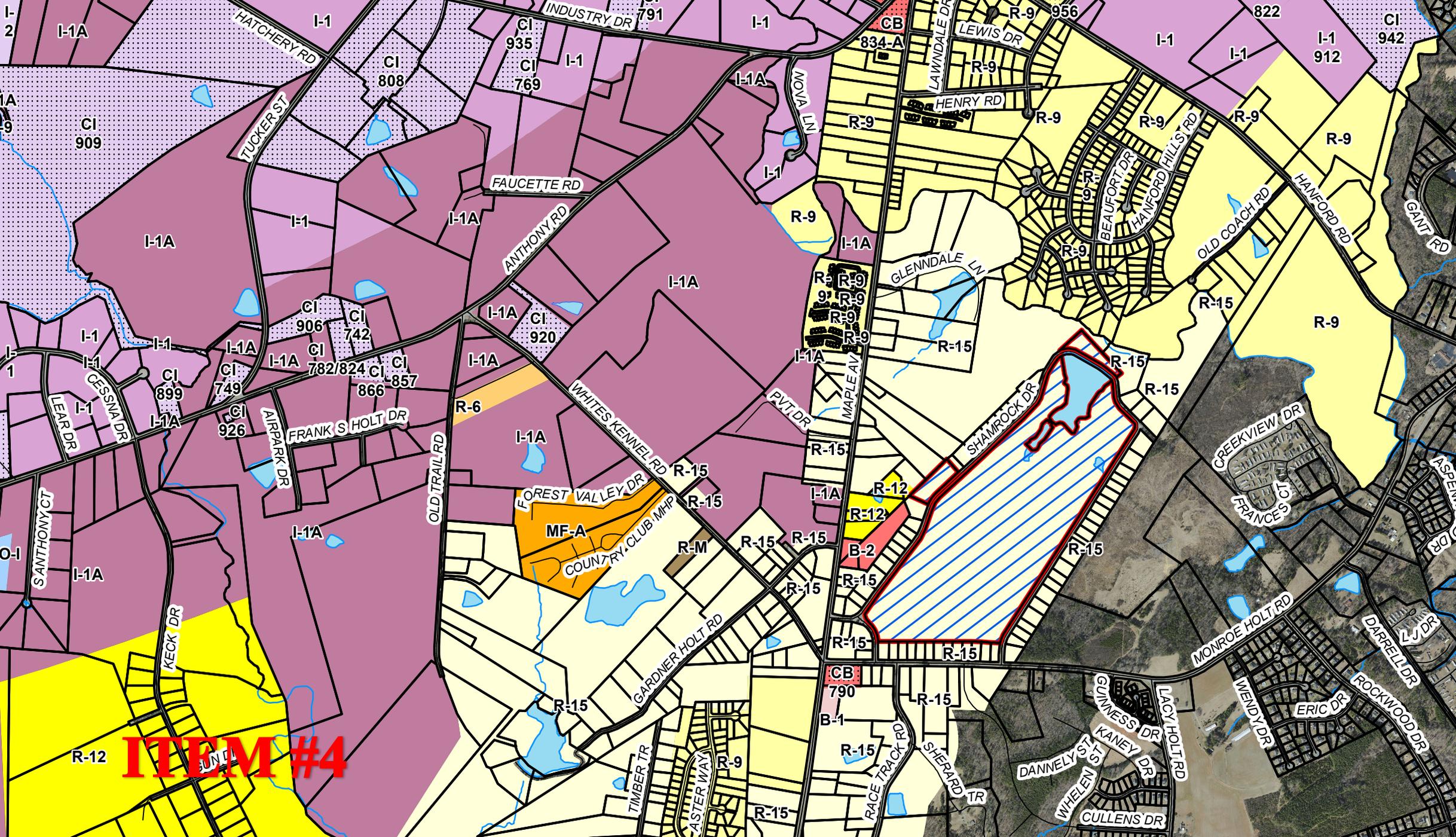
SHERARD TR

GUINNESS DR
LACY HOLT RD
KANEY DR
DANNELY ST
WHELEN
CULLENS DR

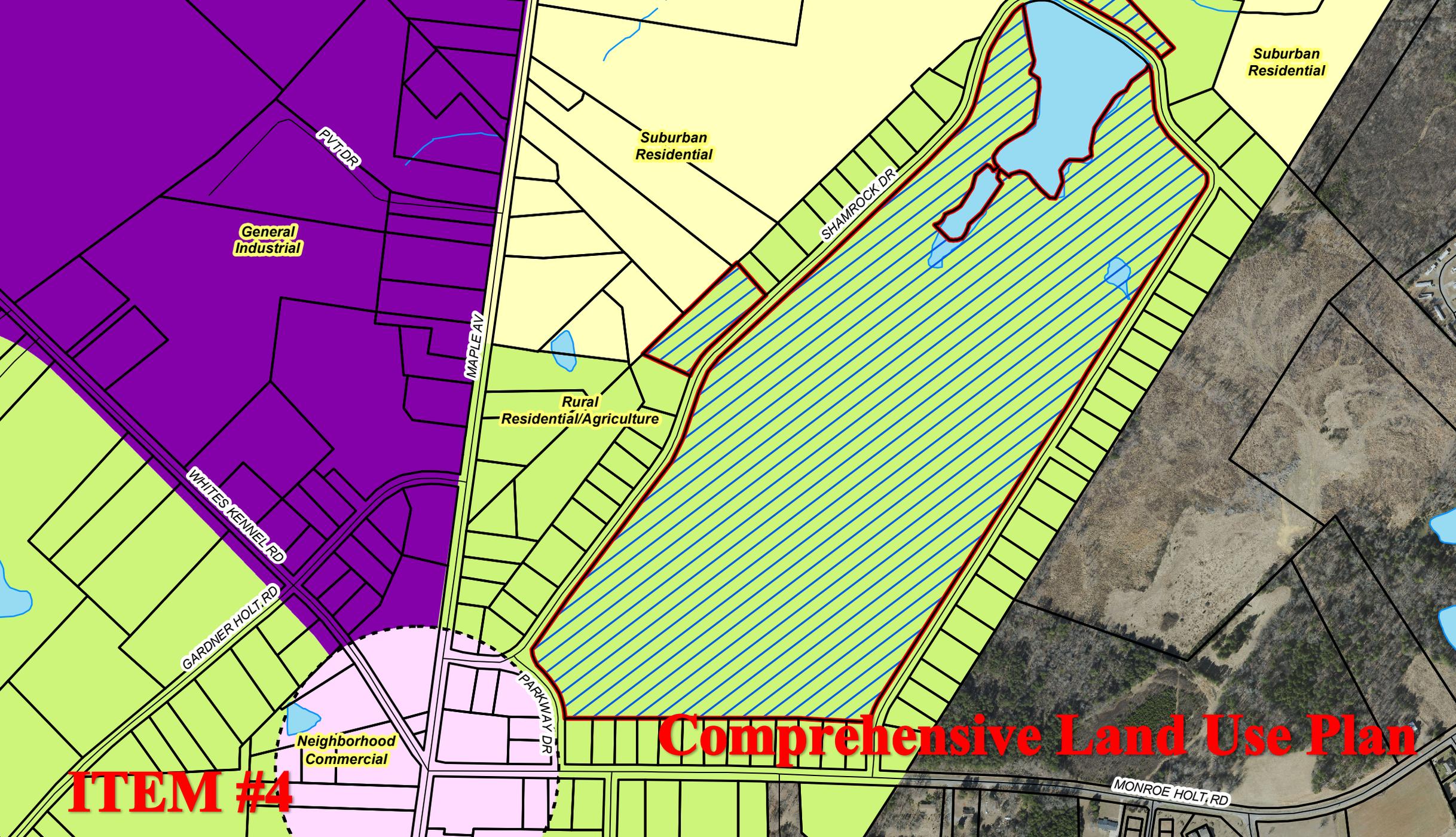
WENDY DR

ROCKWOOD DR

ERIC DR



ITEM #4



Suburban Residential

Suburban Residential

General Industrial

Rural Residential/Agriculture

Neighborhood Commercial

Comprehensive Land Use Plan

ITEM #4

PVT DR

MAPLE AV

SHAMROCK DR

WHITES KENNEL RD

GARDNER HOLT RD

PARKWAY DR

MONROE HOLT RD

312114

Johnsons 570-1493

We, the undersigned hereby confirm the following names, signatures, addresses and parcel numbers for this petition to be true and correct, unless the City of Burlington/Alamance County have not updated GIS online info. We respectfully contest and oppose the proposed plan for development for our current neighborhood of "Shamrock Estates". For many reasons, we feel this project interferes, changes and redirects the development for this property as it was originally intended and designed in 1957. This project will invoke undue stress and hardship to all who have spent much of our lives acquiring the desired properties we now own and reside. This project is not required nor needed by the City of Burlington. We *all* would like to address the Zoning Committee and Council of the City of Burlington in response to our opposition of this project.

260 0987

NAME	SIGNATURE	ADDRESS	PARCEL	TELEPHONE
Peggy C. Jordan		Maple Avenue (vacant lot)	130625	260
Marvin & Frances Beeker	<i>Marvin Beeker</i>	1849 Shamrock Drive	130627	336-317-5145
James & Frances Johnson	<i>James Johnson</i>	Shamrock Drive (vacant lot)	130632	336-526-5244
James & Frances Johnson	<i>James Johnson</i>	1837 Shamrock Dr	130633	336-526-5244
John Elmore	<i>E. Johnson</i>	1825 Shamrock Dr. (2)	130634	336-526-5244
Grover & Ellen Huffines	<i>Grover Huffines</i>	1819 Shamrock Dr.	130635	336-269-9549
Grover & Ellen Huffines	<i>Ellen Huffines</i>	Shamrock Dr. (vacant lot)	130636	336-215-4491
Diana Lockamy & B Welch		Shamrock Dr. (vacant lot)	130644	336
Marvin Beeker	<i>Marvin Beeker</i>	1801 Shamrock Drive	130645	336-227-5145
→ Chuck / KATHY Fujiwara	<i>(See 2nd sheet)</i>	1758 Shamrock Dr. New hse	130646	336-260-2158
David Wilkerson & D. George	<i>D. Wilkerson</i>	1743 Shamrock Dr.	130648	336-380-0696
Adam & Amanda Miller	<i>Amanda Miller</i>	1737 Shamrock Dr.	130649	919-619-3849
Walker estate (1 large lot)		Shamrock Dr. (vacant lot)	130754	
Michael & Dana Duggins	<i>Michael Duggins</i>	Shamrock Dr. (vacant lot)	130753	336-524-4424
Michael & Dana Duggins	<i>Dana Duggins</i>	1643 Shamrock Dr. (dbl lot)	130755	336-524-4424
D. R. Stewart Estate	<i>D. Stewart</i>	1637 Shamrock Dr.	130756	336-214-2905 212-5700
Herb & Fleeta Carmen	<i>Herb Carmen</i>	Shamrock Dr. (vacant lot)	130757	
I.B. Mills	<i>I.B. Mills Jr.</i>	Shamrock Dr. (vacant lot)	130758	336-516-3078
I.B. Mills	<i>I.B. Mills Jr.</i>	Shamrock Dr. (vacant lot)	130759	61 11 11
Benny Hall Premiere Prop		1613 Shamrock Dr (vacant lot)	130760	336
Daryl McLaughlin & Chelsea Jones	<i>Daryl McLaughlin</i>	1607 Shamrock Dr.	130761	336-380-8442 336-380-9435
Jon D. Harris	<i>Jon Harris</i>	1601 Shamrock Drive (Dbl lot)	130762	336-516-5284
Helen Stokes	<i>Helen Stokes</i>	1549 Shamrock Dr.	130839	336-260-2910
Joanne Light	<i>Joanne Light</i>	1543 Shamrock Dr.	130840	336-260-8285
Harvest Hills Church		Maple Avenue	130766	
Earle Walker Trust		1722 Shamrock Drive	130754	
Dale & Charlotte Evans	<i>Dale & Charlotte Evans</i>	1425 Shamrock Dr.	131029	336-229-4640
Scott Robertson	<i>Scott Robertson</i>	1419 Shamrock Dr.	131021	336-684-6926
Jonathan & Crystal Guthrie	<i>Jonathan Guthrie</i>	1407 Shamrock Dr.	131023	336-260-8973
Chad & Daphne Slaughter	<i>Chad Slaughter</i>	1401 Shamrock Dr.	131024	336-684-6193
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (vacant lot)	131020	336-684-7120
William T. Stokes	<i>William T. Stokes</i>	1361 Shamrock Drive	131022	843-504-1948
Gary & Samantha Teer	<i>Gary Teer</i>	1355 Shamrock Drive	131019	336-269-0030
Ron & Lynn Butterfield	<i>Ron Butterfield</i>	1349 Shamrock Dr.	131018	336-437-4098
William B. Mills	<i>William B. Mills</i>	Shamrock Dr. (vacant lot)	131017	336-684-7120
William B. Mills	<i>William B. Mills</i>	Shamrock Dr. (vacant lot)	130016	336-684-7120
William B. Mills	<i>William B. Mills</i>	Shamrock Dr. (vacant lot)	130838	336-684-7120
William B. Mills	<i>William B. Mills</i>	Shamrock Dr. (vacant lot)	130837	336-684-7120
William B. Mills	<i>William B. Mills</i>	Shamrock Dr. (vacant lot)	130836	336-684-7120

ITEM #4 130 260 - See Attached ends 1

SHAMROCK PROPOSED DEVELOPMENT PETITION (CONTINUED) PG 2

NAME	SIGNATURE	ADDRESS	PARCEL	TELEPHONE
Herbert & Fleeta Carmen	<i>Herbert & Fleeta Carmen</i>	Shamrock Drive (Vacant Lot)	130835	336-228-7216
Herbert & Fleeta Carmen	<i>Herbert & Fleeta Carmen</i>	1307 Shamrock Drive	130834	336-228-7216
Jon Wolfe	<i>J Wolfe</i>	1297 Shamrock Drive	130833	263-8492
Right of Way		Right of Way	N/A	
Robert & Martha Scruggs		Shamrock Dr. (vacant lot)	130832	
Richard Simmons	<i>Richard Simmons</i>	1261 Shamrock Drive	130831	213-2947
Pollyanna Oreilly	<i>Pollyanna Oreilly</i>	Vacant Lot	130830	336-227-8993
Pollyanna Oreilly	<i>Pollyanna Oreilly</i>	1243 Shamrock Drive	130829	
Pollyana Oreilly	<i>Pollyanna Oreilly</i>	1243 Shamrock Drive	130828	
Gordon & Matie Isley	<i>Gordon & Matie Isley</i>	1237 Shamrock Drive	130827	336-228-7680
Chad & Jennifer Lewis	<i>Chad Lewis</i>	1231 Shamrock Drive	130826	704-737-4630
Thomas & Lillie Patterson	<i>Lillie Patterson</i>	1225 Shamrock Drive (dbl ?)	130825	336-236-2288
Jerald & Linda Shaw	<i>Jerald Shaw</i>	1219 Shamrock Drive	130824	336-516-2263
Hector & Lesley Gonzalez	<i>Hector & Lesley Gonzalez</i>	1213 Shamrock Drive	130752	336-269-8326
Richard Deyton	<i>Richard Deyton</i>	1207 Shamrock Drive	130751	
Concept Builders Inc.		Monroe Holt Road (Vacant Lot)	130748	
Carol Oliver	<i>Carol Oliver</i>	1200 Shamrock Drive	130747	336-255-4544
Mary Haynes	<i>Mary Haynes</i>	1411 Monroe Holt Road	130746	336-437-9485
Billy Lee, Jr.	<i>Billy Lee, Jr.</i>	1419 Monroe Holt Road	130744	202-236-2605
YMcLaena Ross-Harris	<i>YMcLaena Ross-Harris</i>	1427 Monroe Holt Road	130743	208-317-5952
Victor & Doris Norwood	<i>Doris Norwood</i>	1435 Monroe Holt Road	130741	336-226-3877
Anthony & Dana Stewart	<i>Anthony & Dana Stewart</i>	1443 Monroe Holt Road	130740	336-222-0369
Concept Builders Inc.		Monroe Holt Road (Vacant Lot)	130739	
Concept Builders Inc.		Monroe Holt Road (Vacant Lot)	130623	
Concept Builders Inc.		Monroe Holt Road (Vacant Lot)	130622	
Ben Dickens		1475 Monroe Holt Road	130619	
Teresa Byrd	<i>Teresa Byrd</i>	1483 Monroe Holt Road	130617	336-436-2722
Lori Mills	<i>Lori Mills</i>	Monroe Holt Road (Vacant Lot)	130616	336-684-9170
Lori Mills	<i>Lori Mills</i>	1511 Monroe Holt Road	130613	336-684-9170
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130608	336-684-7120
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130607	336-684-7120
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130609	336-684-7120
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130631	336-684-7120
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130624	336-684-7120
William B. Mills	<i>William B. Mills</i>	Monroe Holt Road (Vacant Lot)	130531	336-684-7120
Chuck & Kathy Fujina	<i>Kathy & Chuck Fujina</i>	1755 Shamrock Dr -	130646	336-260-2158

ITEM #4

Joey Lea

From: Brandace Parham <actinghorseb@gmail.com>
Sent: Sunday, March 11, 2018 6:01 PM
To: Joey Lea
Subject: Shamrock Subdivision

To whom it may concern;

I and my best friend are current residents along Shamrock Golf course. He and his family have been for nearly 60 years. It is always tough to part ways with things we love. The entire family has played golf on this course. We have known for a long time that the golf course has struggled financially. Change is always difficult, but we know progress is necessary. After a meeting with some other residents today, I may see where the older community is struggling. But the simple fact remains. The golf course can not sustain itself. After seeing the proposed plan from the developer, I have happy to see the walkways, ponds and community feel this provided for the new and hopefully the existing residents. I hope you will listen to the concerns of the older residents but am excited to see what the new plans could bring. I understand it is not a finished deal. I also hope you do not let certain fears stop the best potential for this land. I would love to see it transformed into a lovely horse riding park or community park or smaller subdivision. But I am also not naive enough to believe these are a possibility. This particular piece of property has been for sale, or struggling for many years now. I would like to see my and my friends property flourish with a nice community at hand. I do believe that all of the current residents of Shamrock be given respect they deserve and be made aware of what plans are in store, but I will also respectfully disagree with any of them that may say this development is a bad idea. Change is tough. But if we listen to one another we can change for the better. I do not know if I am emailing the correct person. But I do hope this email can find the correct person. Thank you for your time.

Sincerely

Brandace...resident at 1261 Shamrock